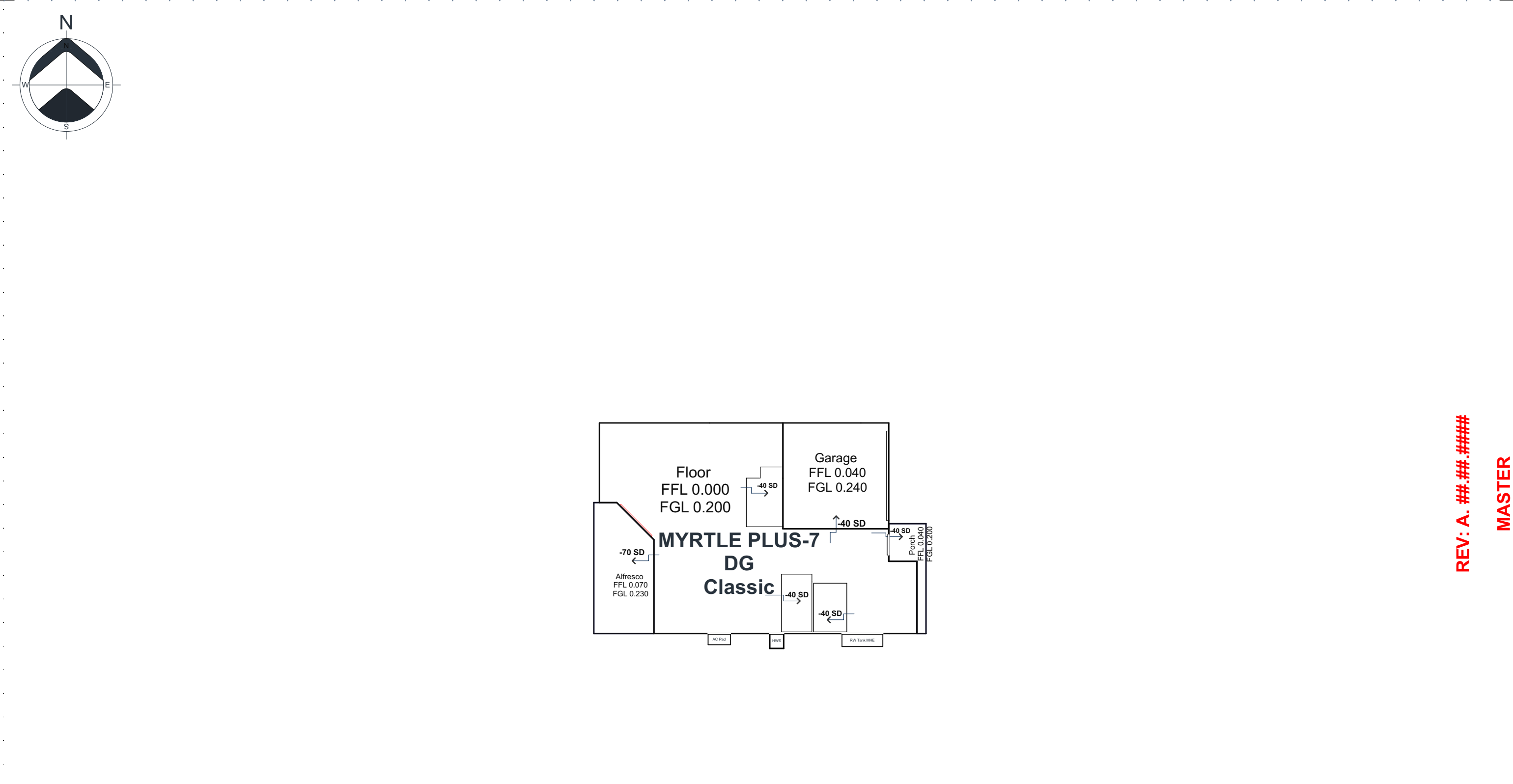



Layout No:	Layout Name	Rev
01.1	Cover Sheet	
01.2	Site	
01.3	Ground Floor	
01.4	Elevation A/B	
01.5	Elevation C/D	
01.6	Section X/Y	
01.7	Site Analysis	
01.8	Fencing & Retaining Layout	
01.9	Retaining Wall Details	
01.10	Waste & Drainage	
01.11	Slab Setout Ground	
01.12	Slab Details	
01.13	Sub Floor Ground	
01.14	Slab Relocation Plan	
01.15	Ground Floor Electrical	
01.16	Wall Section 1	
01.17	Associated Details 1	
01.18	Associated Details 2	
01.19	Tile Specification	
01.20	Ensuite - Laundry	
01.21	Bath	
01.22	Kitchen	
01.23	Colour Application	
01.24	Paint Application	
01.25	Colour Perspectives	
01.26	Landscape	
01.27	Landscape Details	
01.28	Solar Panel Layout	
01.29	Furniture Layout	
01.30	WHS Plan	

REV: A. ##.##.####



<p>WARNING: ALL DRAWINGS TO BE READ IN CONJUNCTION WITH DETAILS. ALL DISCREPANCIES TO BE REPORTED TO DESIGN OFFICE PRIOR TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960</p>											
 <p>ALLAM Lifestyle COMMUNITIES</p>	 <p>MONTEREY GARDEN HAVEN</p>	<p>Allam Lifestyle Communities Level 3, Offices 36-42 11-13 Brookhollow Ave ACN 003 798 883 BLN 28701.C Ph 02 47322422 Fx 02 47211811 www.allam.com.au</p>	<p>ALL RIGHT RESERVED. This plan is the property of Allam Homes Pty Ltd. Copyright in this document is owned by Allam Homes Pty Ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes Pty Ltd.</p>	<p>MYRTLE PLUS-7 DG <i>Classic</i></p>	<p>Site Address Allam Homes Pty Ltd Lot ### Street name Suburb (Estate) NSW</p>	<p>SITE INSTRUCTIONS</p>	<p><i>Site</i></p>	<p>Last Amended</p>	<p>CAE</p>	<p>Scale</p>	
						<p>GENERAL: F</p>	<p>01.09.20</p>	<p>Revision/Date/Version</p>	<p>Serial</p>	<p>Job No</p>	<p>Sheet</p>
						<p>HOUSE: 0</p>	<p>01.07.20</p>	<p>A. ##.##.####.v22</p>	<p>1MY7101000</p>	<p>Job no.</p>	<p>01.2</p>
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General Notes:
*Weather strips/seals to all external hung doors

Specification Notes:

A/C

Air Con Fan Unit

R

A

Return Air

M

H

Man Hole

⊙

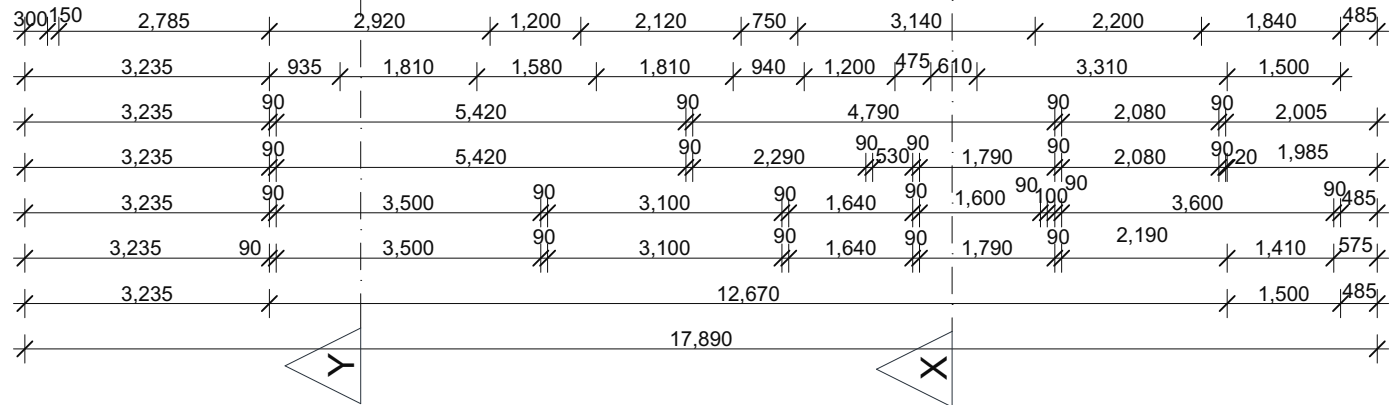
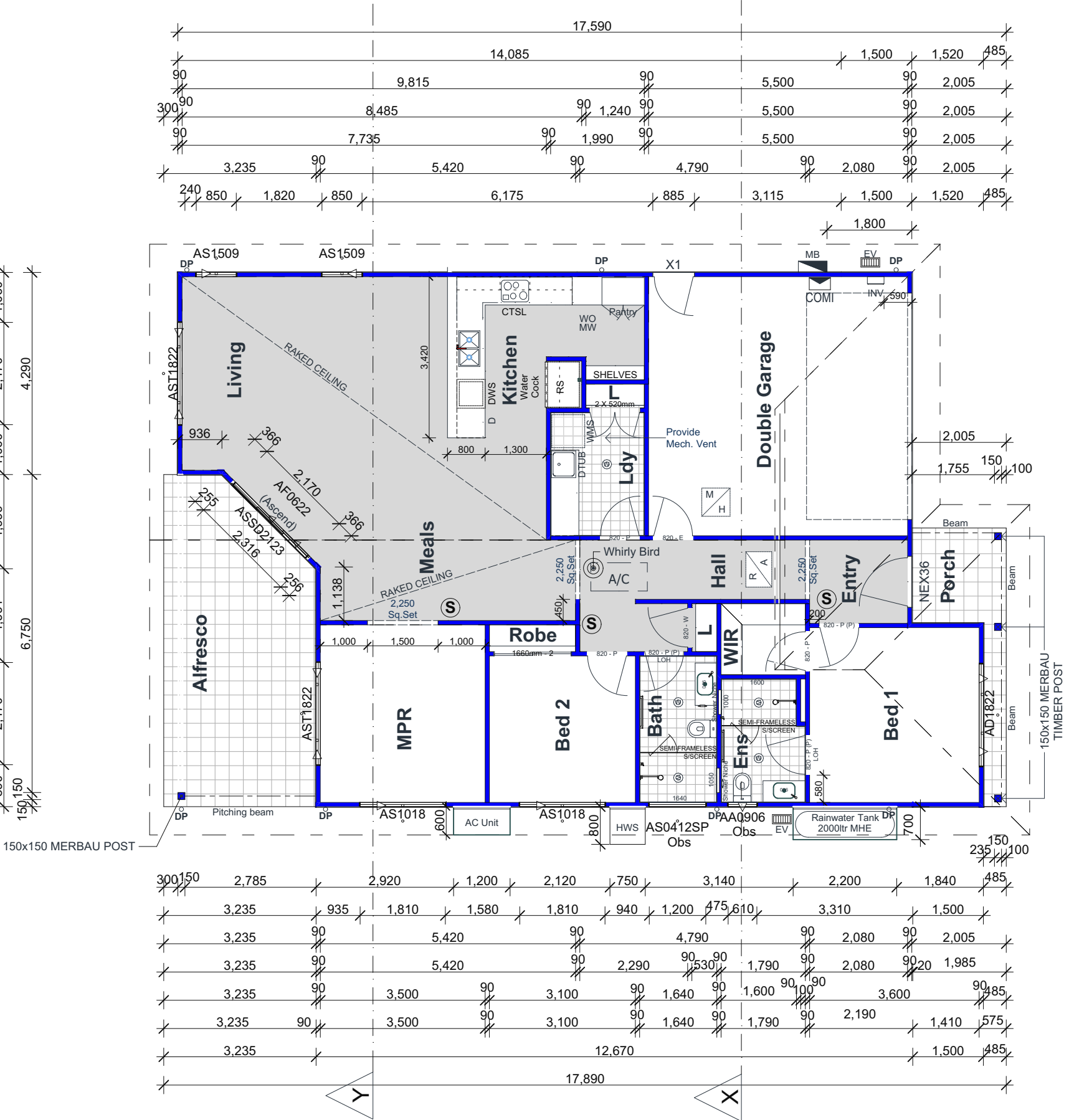
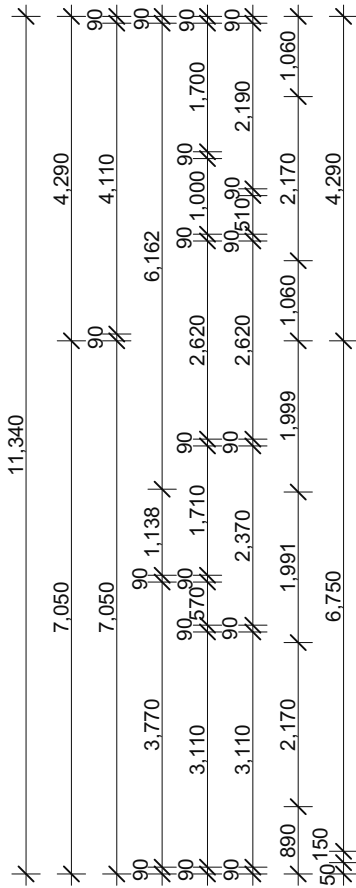
Whirly Bird (300mm Throat Dia)

EV

Eave Vent (400x200mm)

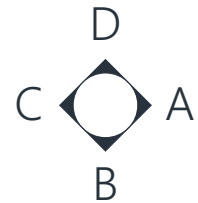
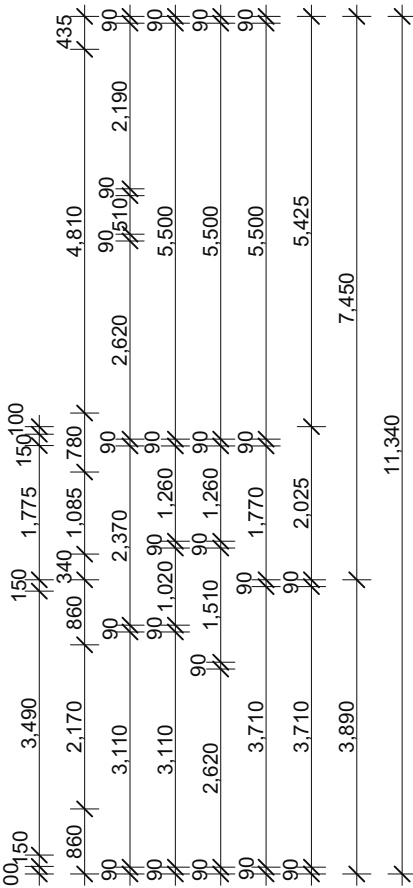
* Internal Door Legend

E = Entrance
P = Passage
(P) = Privacy
W = Wardrobe
LOH = Lift Off Hinge



NOTE:
REFER TO SLAB SETOUT
FOR CONCRETE LAYOUT.

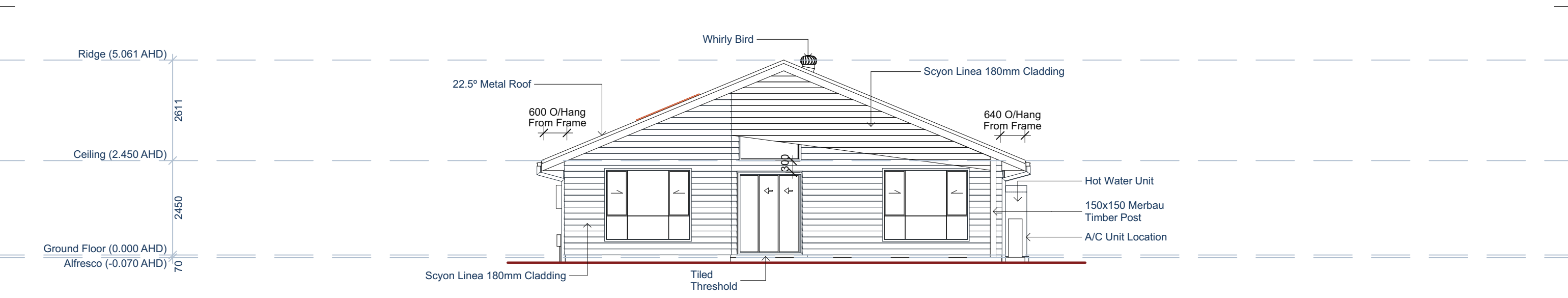
SHADED AREA DENOTES
VINYL FLOORING UNLESS
OTHERWISE SPECIFIED ON
THE JOB SPECIFIC COLOUR
SELECTION SHEET



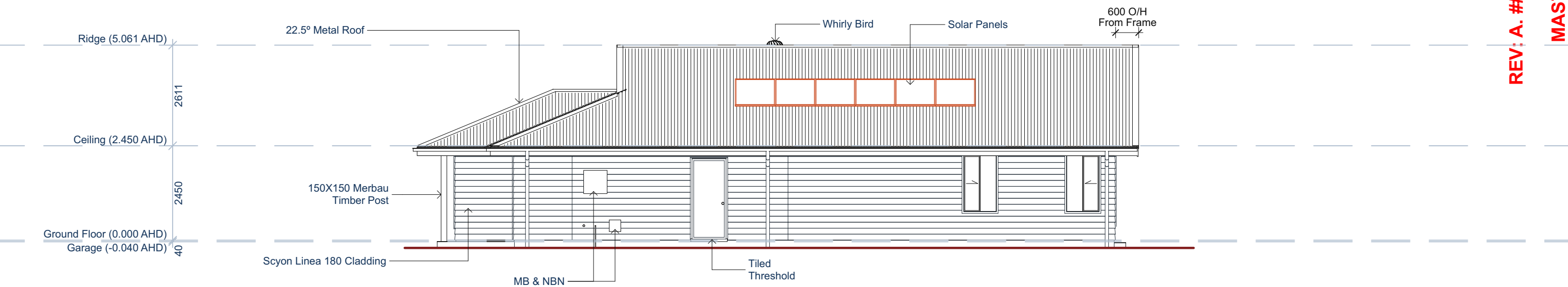
REV: A. ##.##.####

MASTER

FLOOR AREAS	
ALFRESCO	20.81
GARAGE	32.49
GROUND	131.46
PORCH	5.95
190.71 m²	



West Elevation (C)

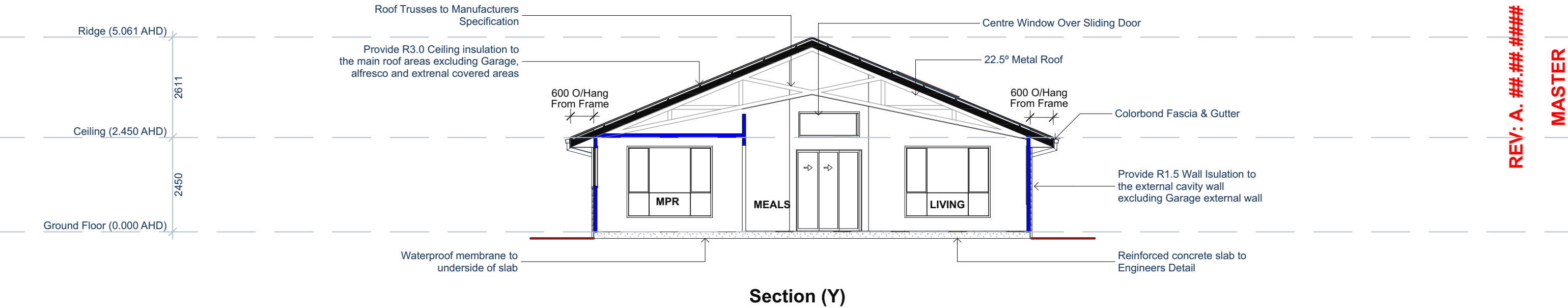
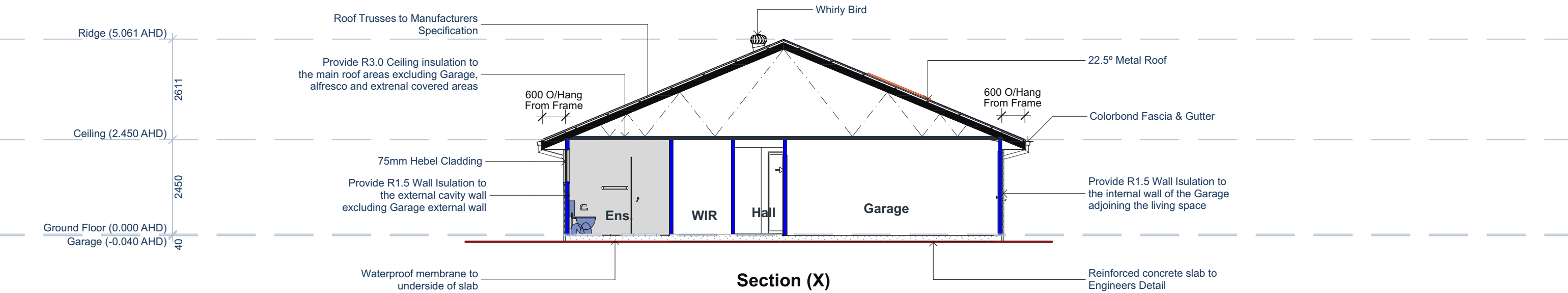


North Elevation (D)

General Notes:
* Locate expansion joints in accordance with Clause 3.3.5.13 of NCC and located behind downpipes where possible.
* All verges 200mm unless otherwise noted
* Provide cover strip to entry doors
* Provide cover strip to entry doors
* Refer to floor plans/window schedule for Restricted opening windows (BCA)
Indicates Obscure Glazing
(Refer floor plans/window schedule)

Glazing
Glazing materials must be selected and installed in accordance with the relevant provisions of AS 1288—2006, Glass in buildings—Selection and installation, to the extent to which those provisions require the use of safety glass, in accordance with the relevant provisions of AS/NZS 2208:1996, Safety glazing materials in buildings (each as in force on 1 September 2005).

Note:
Windows Generic values- U 6.70 / SHGC 0.57 to 0.70



REV: A. ##.##.###
MASTER

CONDENSATION MANAGEMENT:

- Exhaust Fans will be Compliant with NCC Clause 3.8.7.3.b (i), Australian Standard AS4200.1
- Wall wrap to be in accordance with Clause 3.8.7.2 of NCC 2019 & AS4200.1 & Installed in Compliance with AS4200.2

ROOF RAINWATER:

- Provide overflow measures for gutters and downpipes: Compliant with NCC Clause 3.5.3

STAIRS, RAMP & LANDINGS:

- Internal & External: Bounded by walls: Compliant with NCC Clause 3.9.1
- Internal & External: Finish of nosings/slip resistance: Compliant with NCC Clause 3.9.1.4

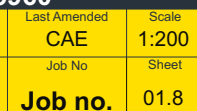
BALLUSTRADES:

- Internal/External: All installations: Compliant with NCC 3.9.2; Clause 3.9.2.3 & 3.9.2.4 as applicable for handrails

ELECTRICAL:

- Smoke Alarms: Installation to NCC Clause 3.7.5

LIGHTING & VENTILATION TABLE					
Zone Name	Floor Area Total	Natural Lighting Area Required (Min. 10%)	Proposed Natural Lighting Area	Natural Ventilation Area Required (Min. 5%)	Proposed Natural Ventilation Area
Bed 1	13.356	1.335	3.884	0.667	1.782
Bed 2	9.641	0.964	1.818	0.482	0.821
Meal/Kitchen Living	55.162	5.516	11.884	2.758	5.182
MPR	13.195	1.319	5.543	0.659	2.035



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MYRTLE PLUS-7 DG
Classic

Site Address
Allam Homes Pty Ltd
Lot #### Street name
Suburb (Estate) NSW

SITE INSTRUCTIONS

GENERAL:

HOUSE:

Retaining Wall Details

F	01.09.20
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0	01.07.20
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	Revision/Date/Version
--	-----------------------

A. ##.##.####.V22

Serial

1MY7101000

00	Last Amended	
	CAE	


Job No	
--------	--


Job no.

Scale
REFER TO
DETAIL


Sheet


01.9


- 


Ceiling Compact Fluro
- 


Downlight LED
- 2W




Denotes two way control
- 


Internal Wall @ 1900
- 


External Wall @ 1900
- 


Light/Heat/Fan (Ducted To External)
- 


Light Switch
- 


LED Light


- 


Data Point @ 300 (above FL)
- 


T.V. Point @ 300 (above FL)
- 


Electric Hot Water System
- 


Smoke Alarm
- 


Air-conditioner Fan Unit
- 


Meter Box
- 


Internal COMS
- 


Alarm Key Panel
- 


Alarm Control Box
- 

Single GPO
- 

Double GPO
- 

Single Ext GPO
- 

Double Ext GPO
- 

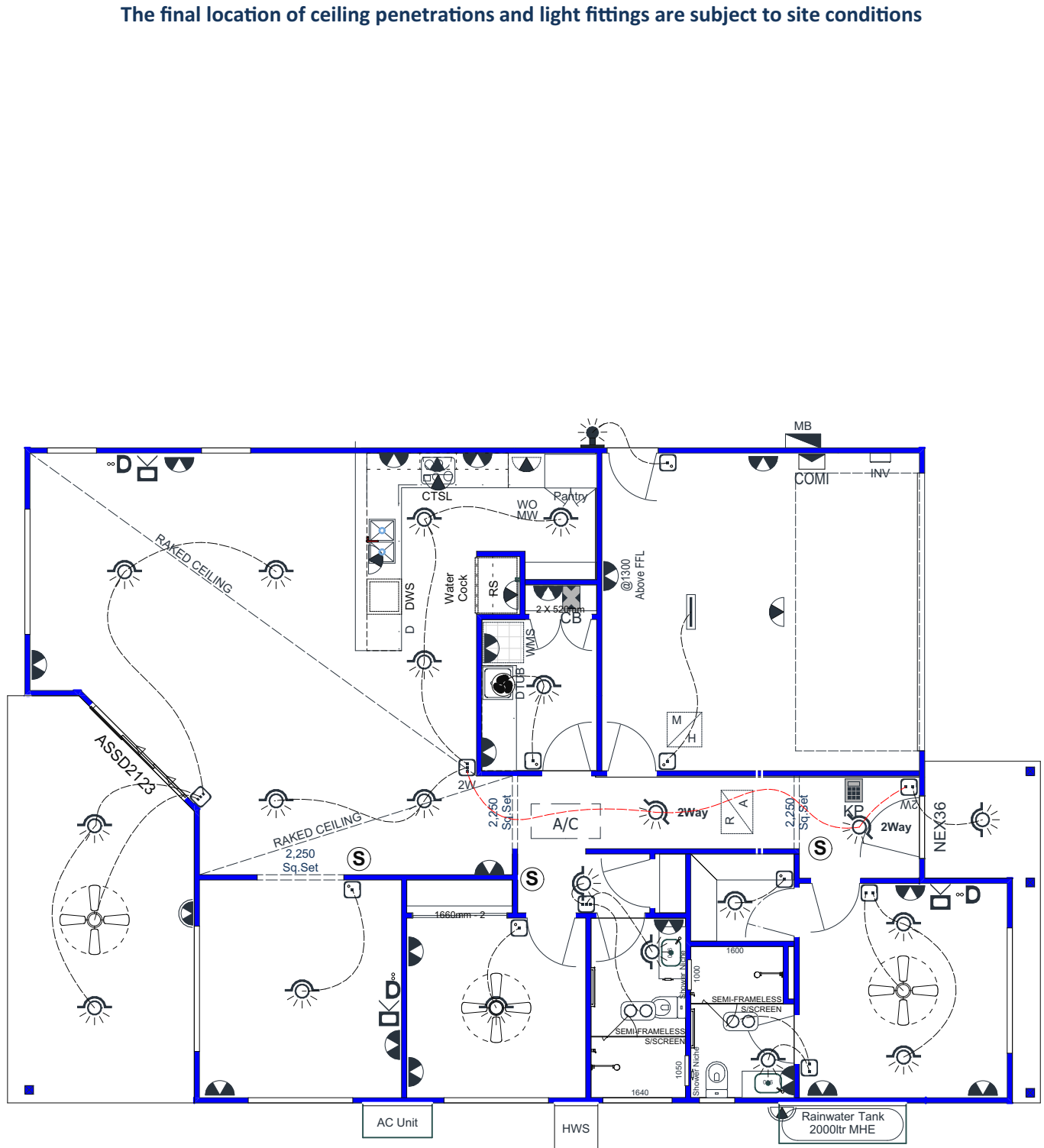
Ceiling Fan
- 

Ceiling Fan (Incorporated Light)

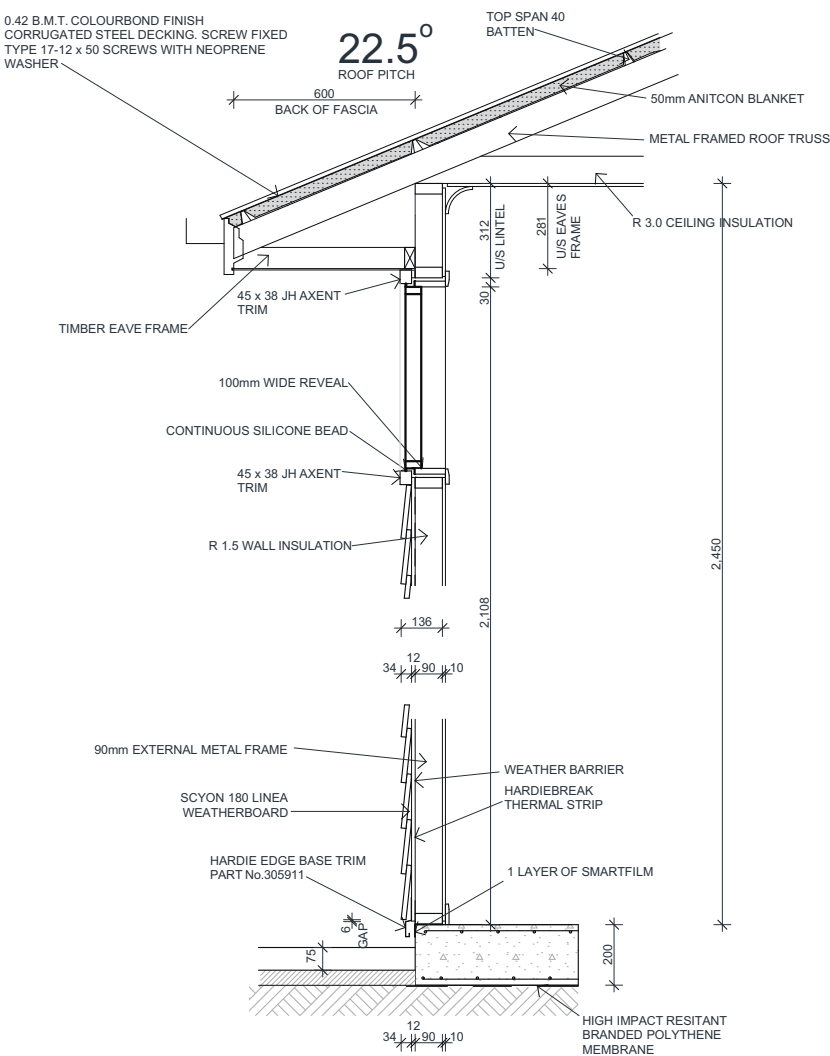
Actron Air Standard Unit Specification (Single Phase)
Model: **CRS13AS / EVA13AS**
Net (rated) Capacity (KW) Cooling: **13.02 KW**
Heating: **15.0 KW**
EER Rated Cooling: **3.35 KW**
EER Rated Heating: **3.51 KW**

- General Notes: NCC Approval**
- All heights measured from the main floor level unless otherwise noted.
 - Light switches @ 1300mm above FFL wall mounted.
 - Top of Meter box to be 1900mm maximum above ground level.
 - Provide Smoke Alarms in accordance with NCCS Vol 2: Clause 3.7.5
 - Double GPO to meter box.

Electrical wiring
The electrical wiring in a manufactured home must comply with the requirements of AS/NZS 3000:2000.

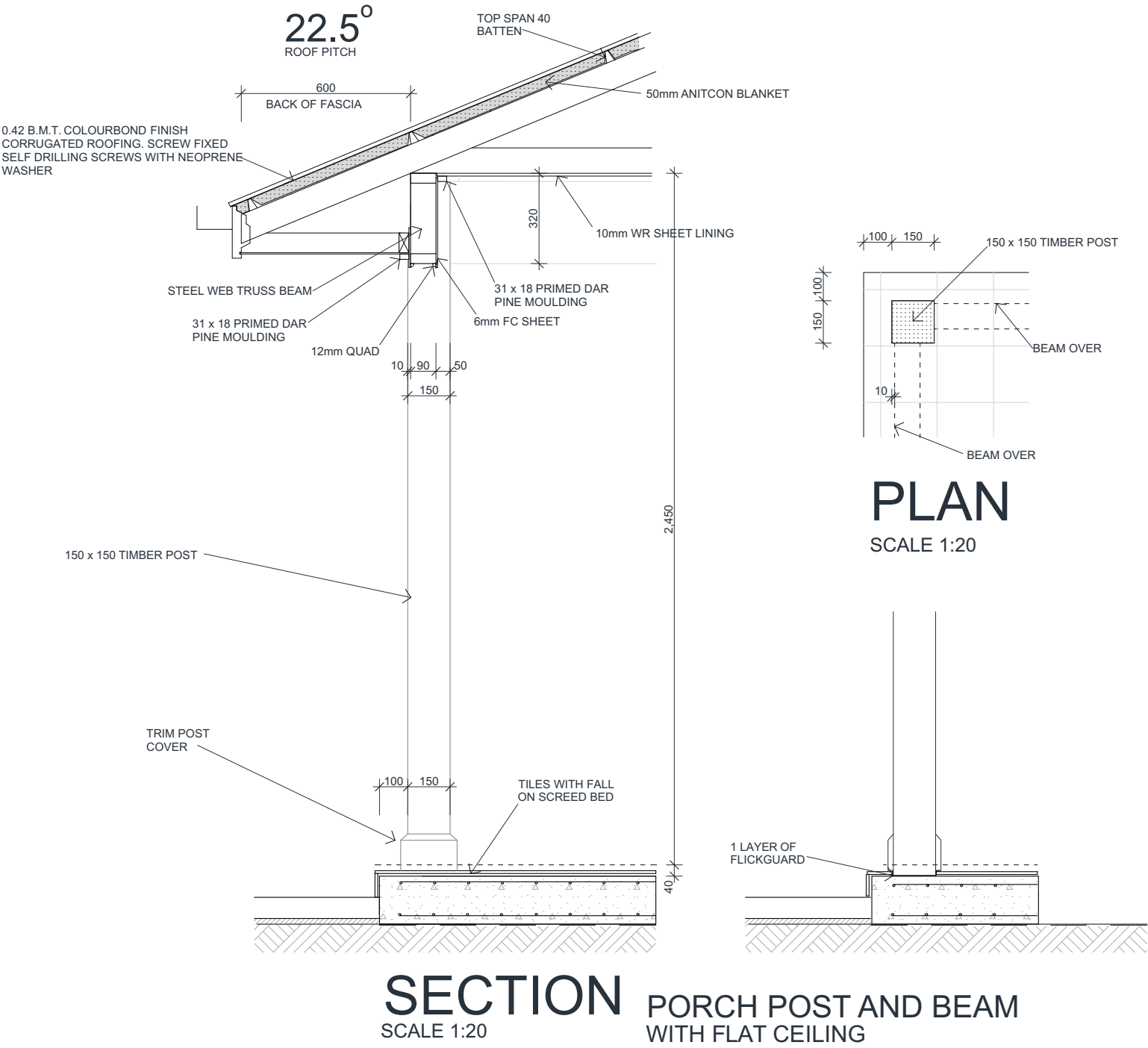


GPO Height Table			
Room Location	Item	Height (mm)	
Kitchen	GPO	1100	
	REF	2050	
	RH	1900	
	DW	500	
	MW	600/1200	
Laundry	GPO	1300	
Bath/Ens/Pow	GPO	1300	
Garage	GPO	1200	
	Roller Door	2000	
	Panel Door	Ceiling	
Other	External GPO	1000	
Note :			
All general room GPO's are to measure 300mm above main floor level unless otherwise noted.			

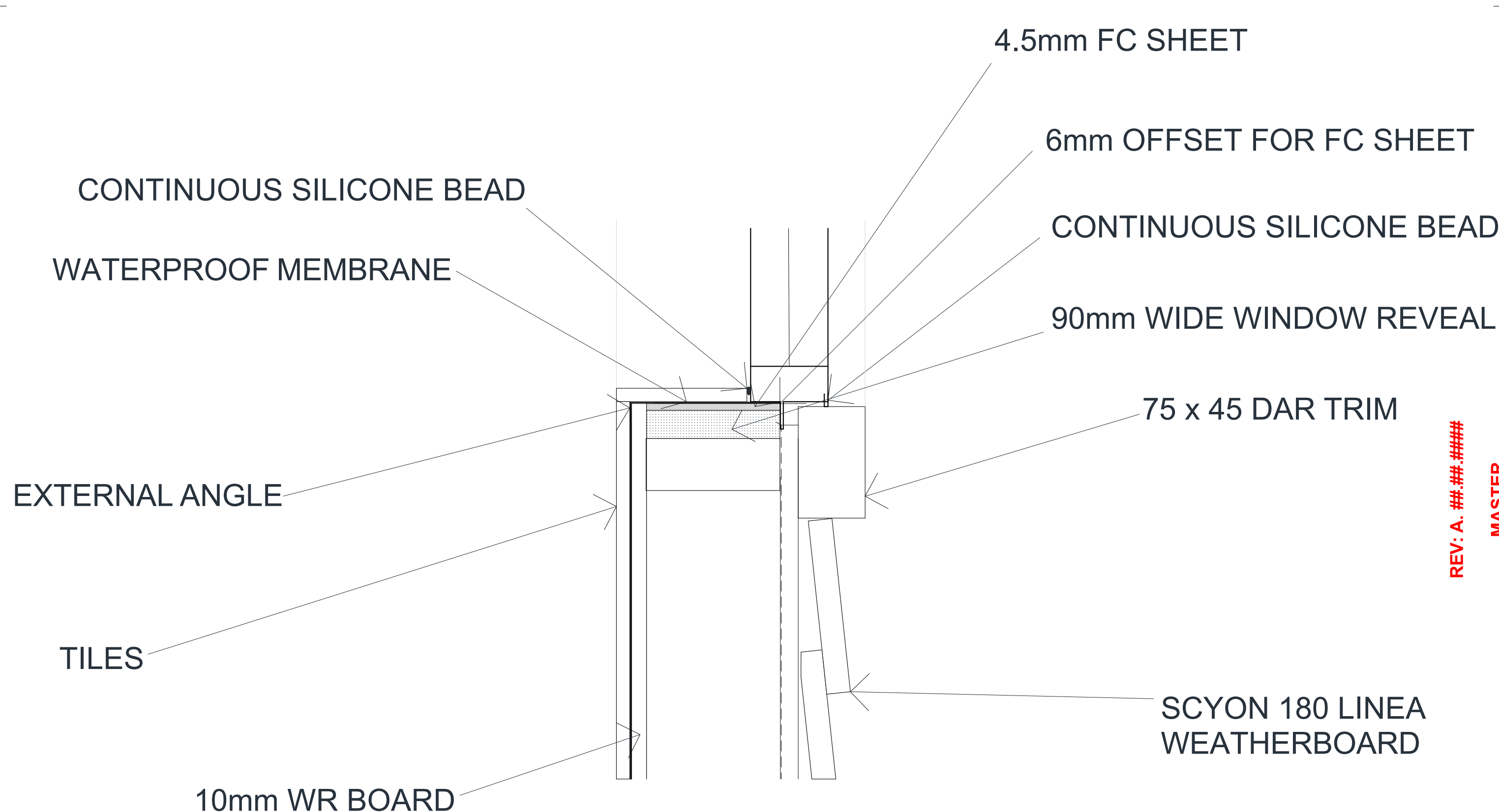


PERIMETER BEAM - HOUSE
TYPE B - FULL SCYLON LINEA 180 (16mm) WALL

REV: A. ##.##.####
MASTER

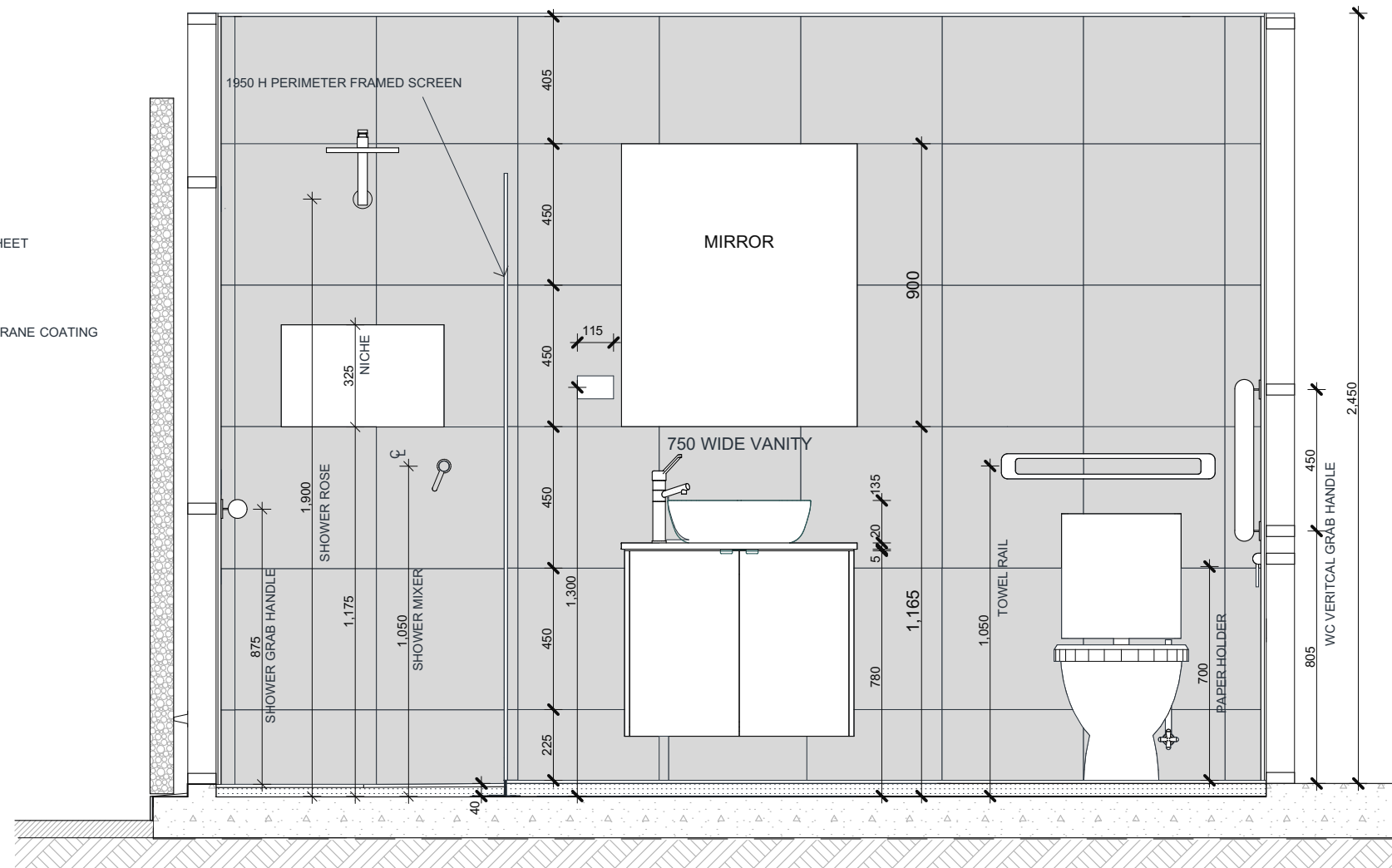
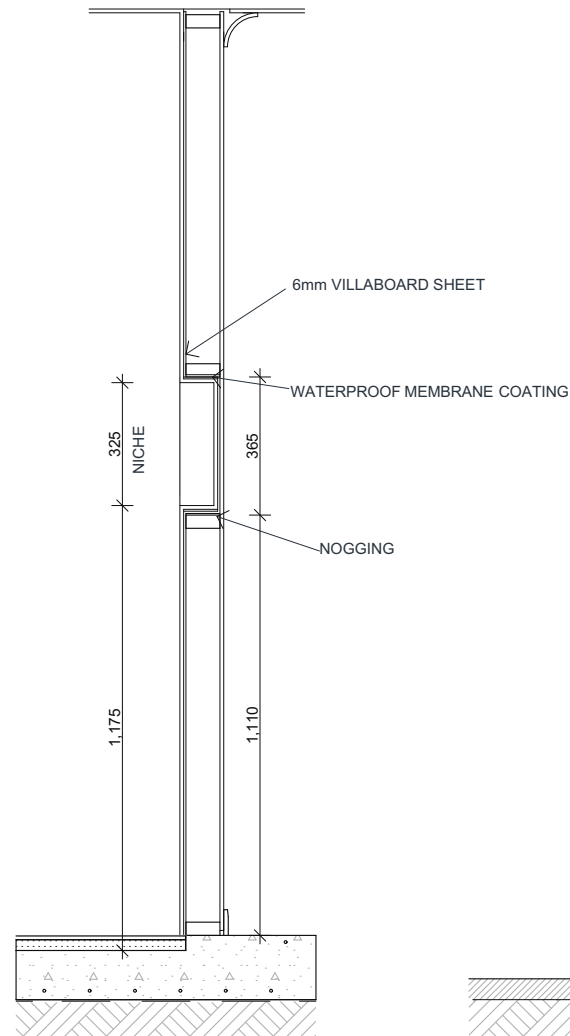
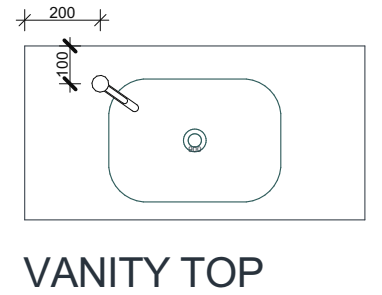
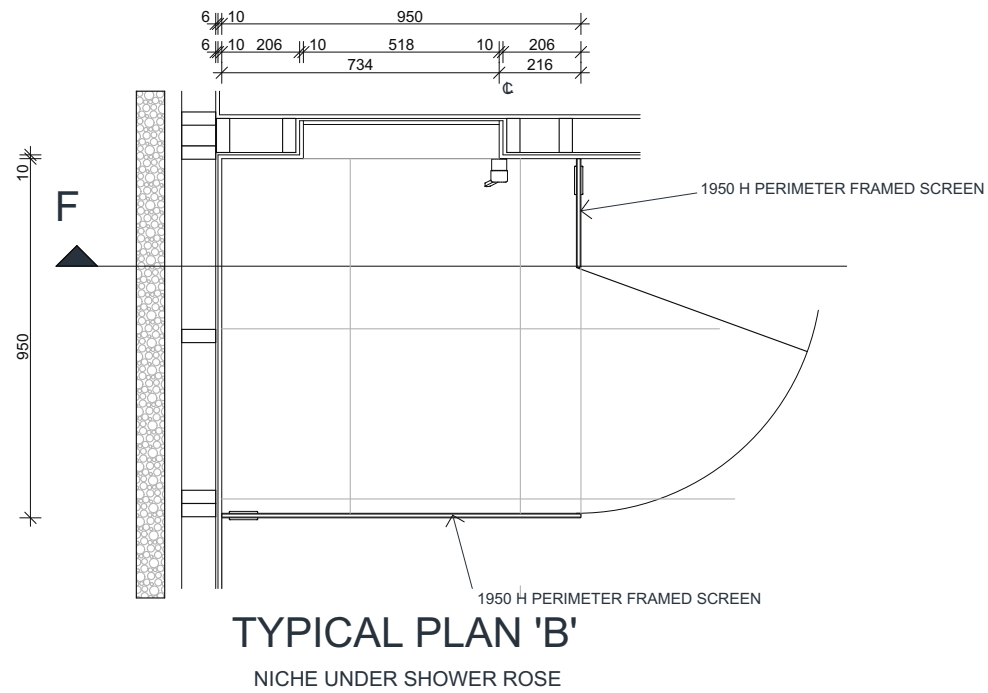
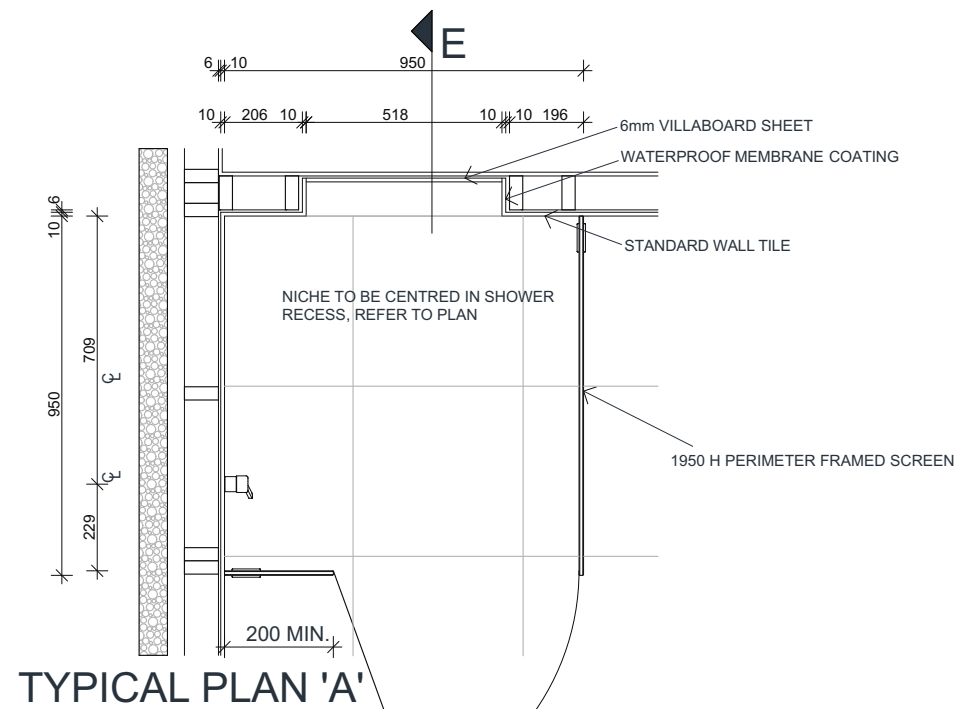


REV: A. ##.##.####
MASTER



REV: A. ##.##.####
MASTER

TYPE B - FULL SCYON LINEA 180 (16mm) WALL



SECTION 'E'

SECTION 'F'

450 x 450 WALL TILE

REV: A. ##.##.####

MASTER

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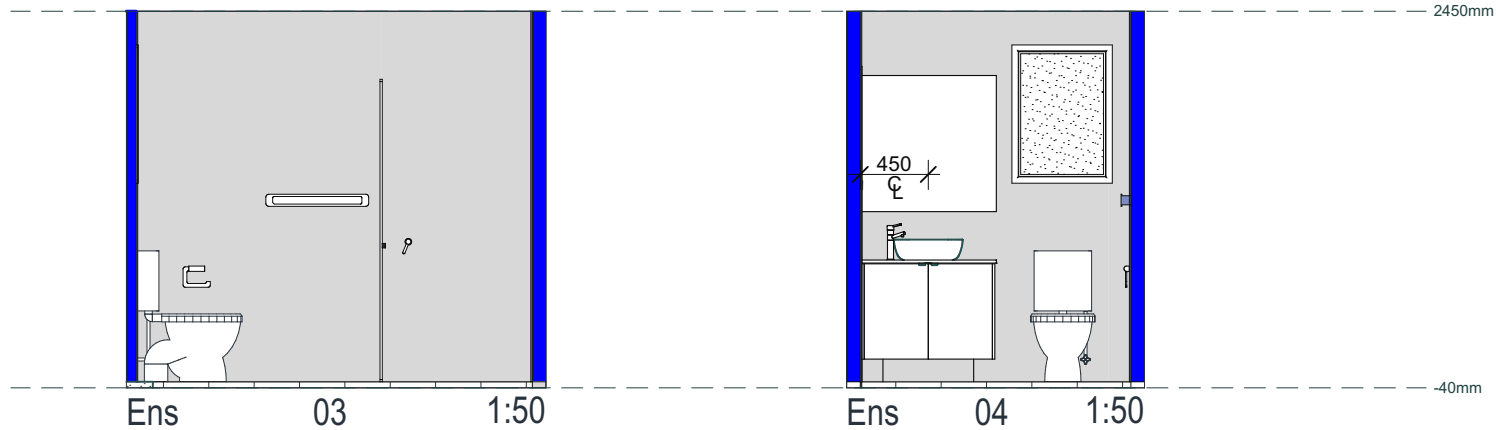
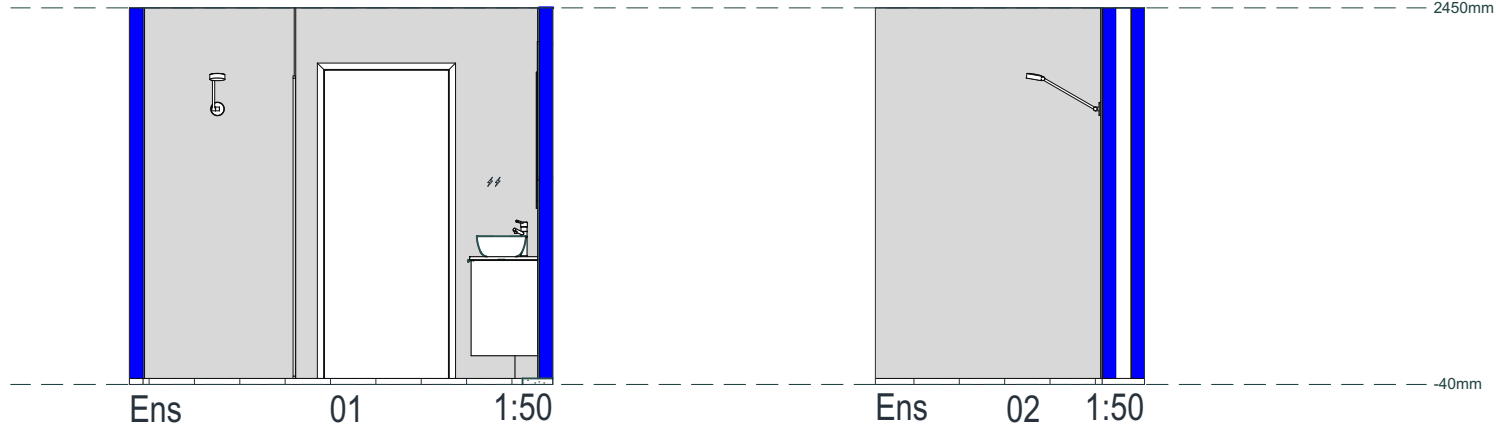
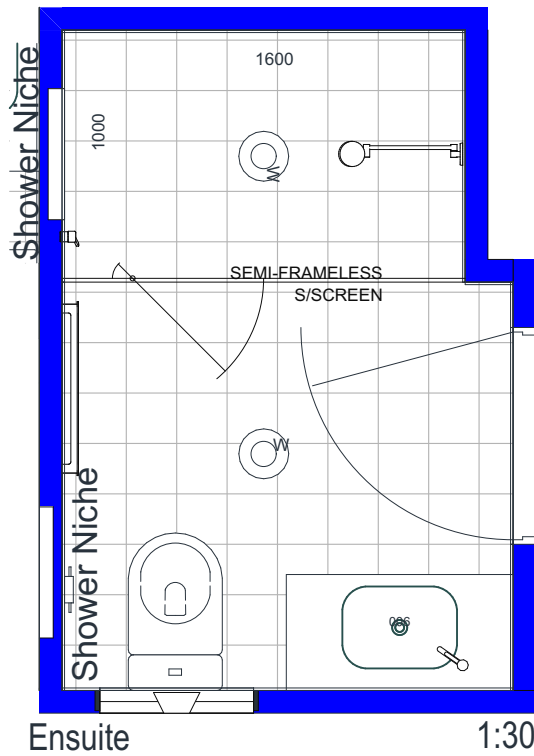
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MYRTLE PLUS-7 DG
Classic

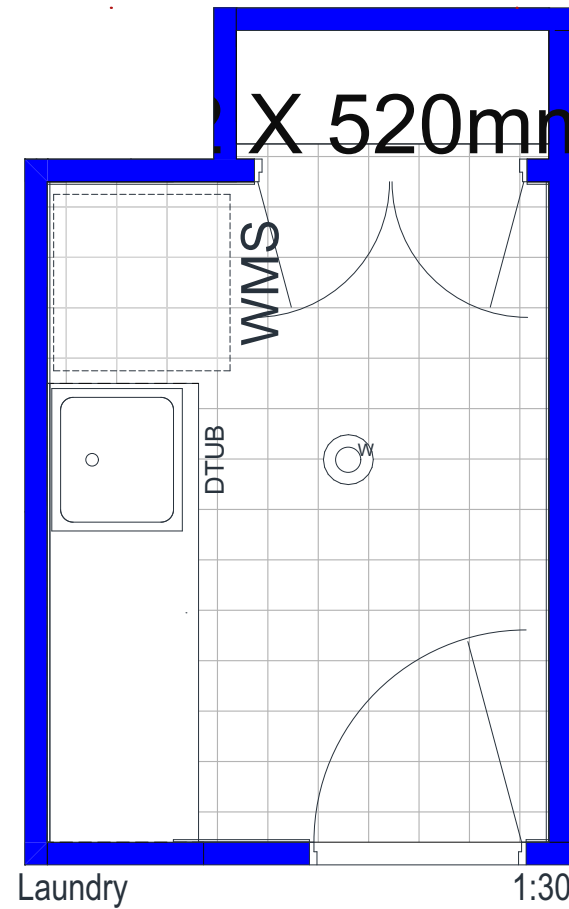
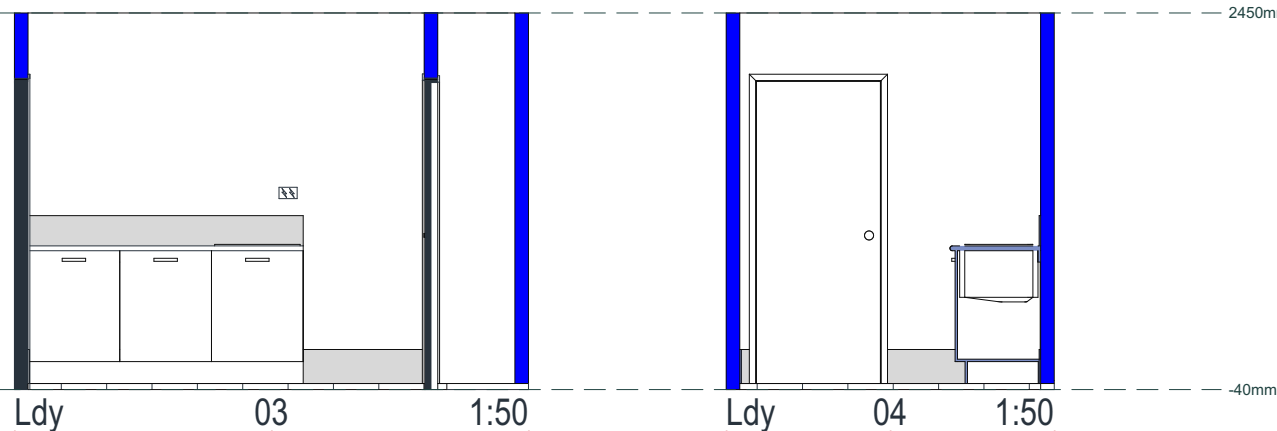
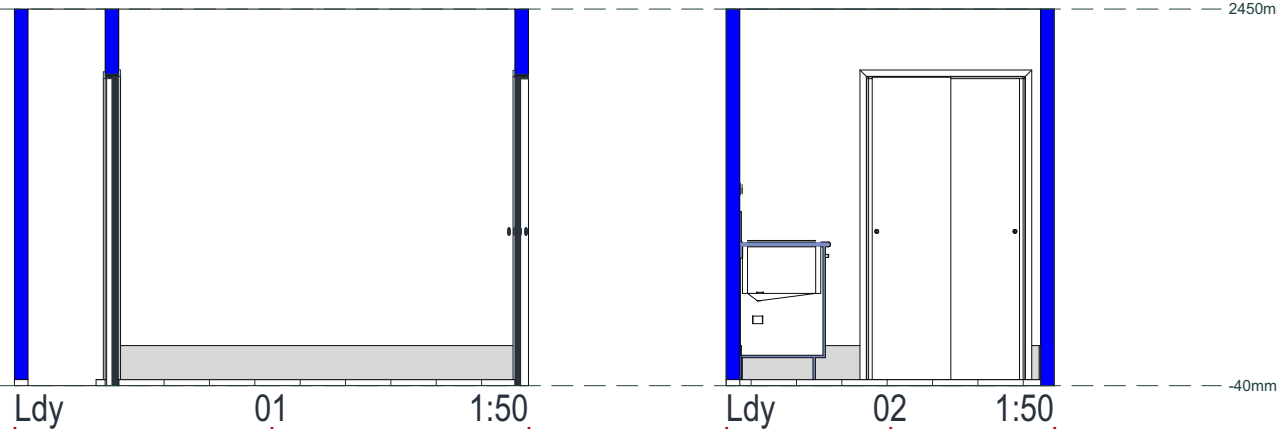
Site Address
Allam Homes Pty Ltd
Lot ### Street name
Suburb (Estate) NSW

SITE INSTRUCTIONS	Tile Specification				Last Amended	Scale
	GENERAL:	F	01.09.20	Revision/Date/Version	CAE	REFER TO DETAIL
	HOUSE:	0	01.07.20	A. ##.##.####.V22	Job No	Sheet
				1MY7101000	Job no.	01.19

ENSUITE



LAUNDRY

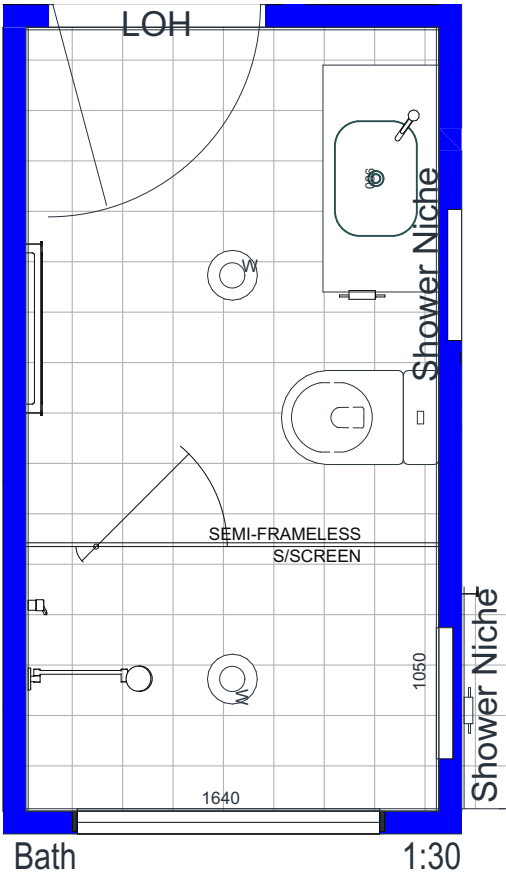
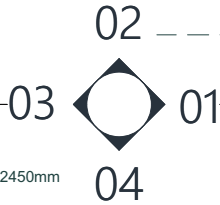
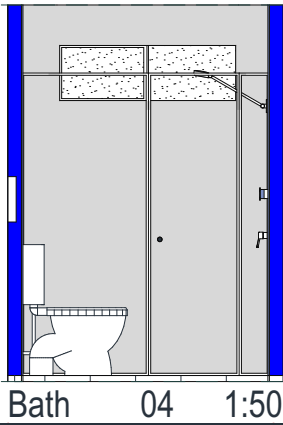
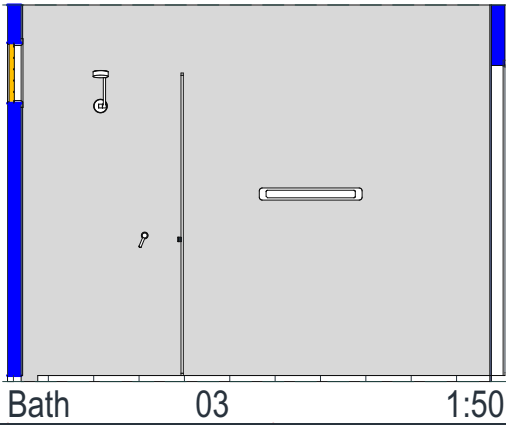
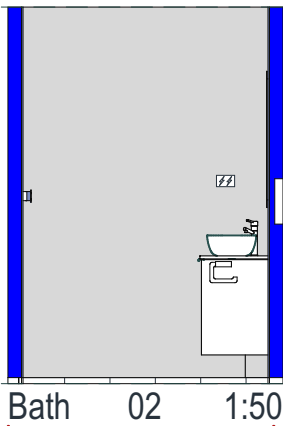
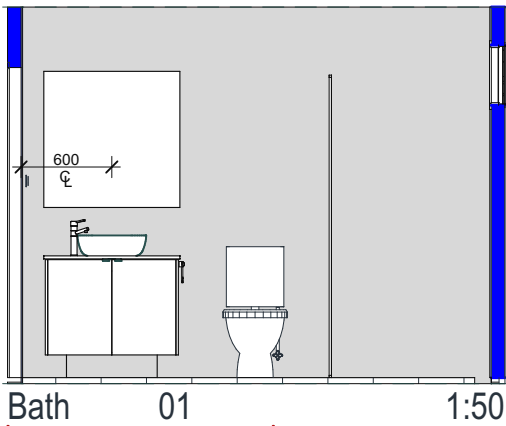


Wet Area Height Table	
Item	Height (mm)
Shower Screen	2100
Toilet Roll Holder	700
Towel Rail/Ring	1050
WC isolating tap	150
Shower Tap Mixer	950
Shower Rose	1800
Bath Taps Mixer/Spout	650
Laundry Taps (Tub)	1050
Laundry Taps (Washing Mach.)	1435

Note:
Refer To Job Specific Details &
Colour Application Sheets For
Tile Layout/Application.

REV: A. ##.##.####
MASTER

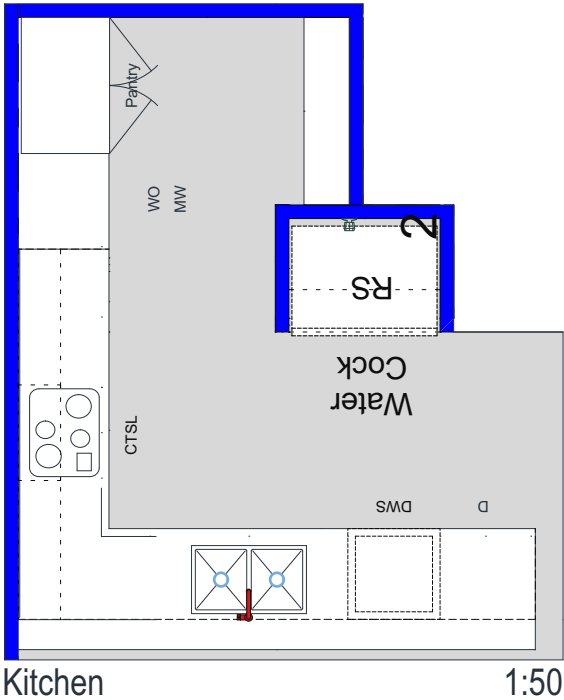
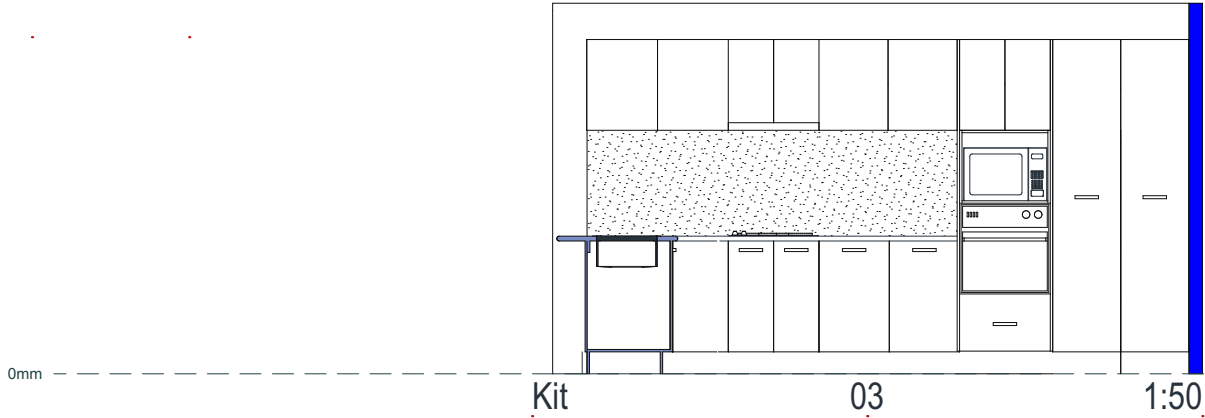
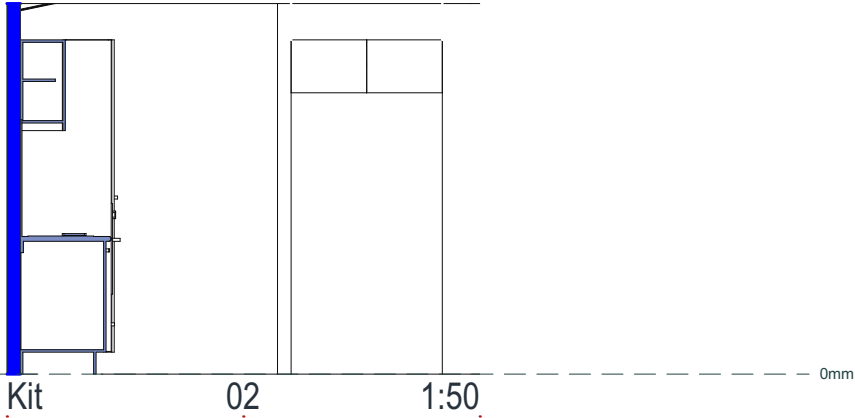
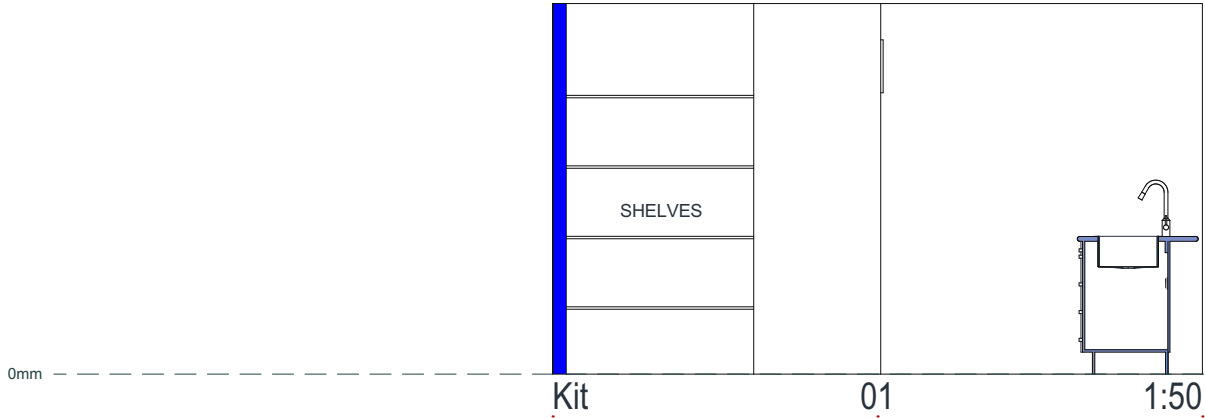
BATHROOM



REV: A. ##.##.####
MASTER

Wet Area Height Table	
Item	Height (mm)
Shower Screen	2100
Toilet Roll Holder	700
Towel Rail/Ring	1050
WC isolating tap	150
Shower Tap Mixer	950
Shower Rose	1800
Bath Taps Mixer/Spout	650
Laundry Taps (Tub)	1050
Laundry Taps (Washing Mach.)	1435

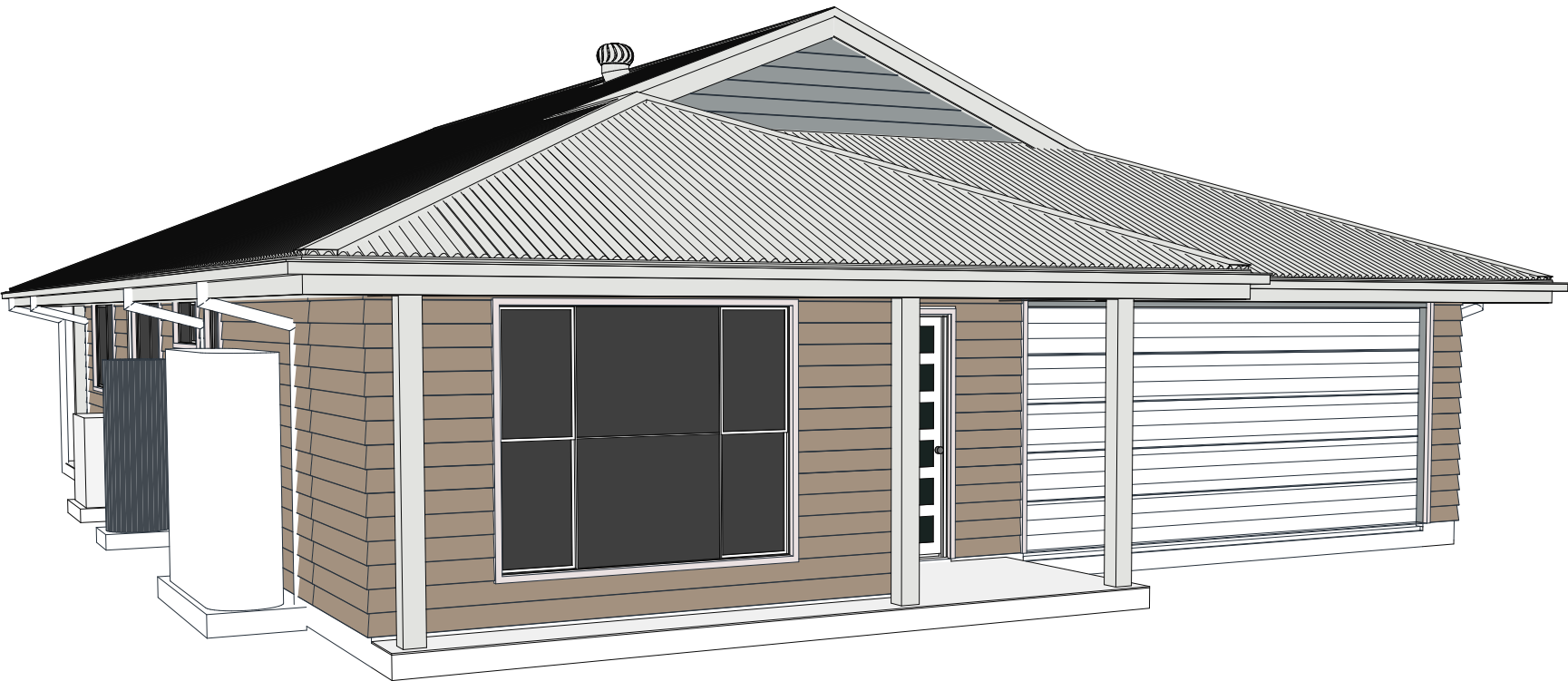
Note:
Refer To Job Specific Details &
Colour Application Sheets For
Tile Layout/Application.



Note:
Refer to specification level detail for
Layout/heights.

REV: A. ##.##.####
MASTER

02
03 01
04



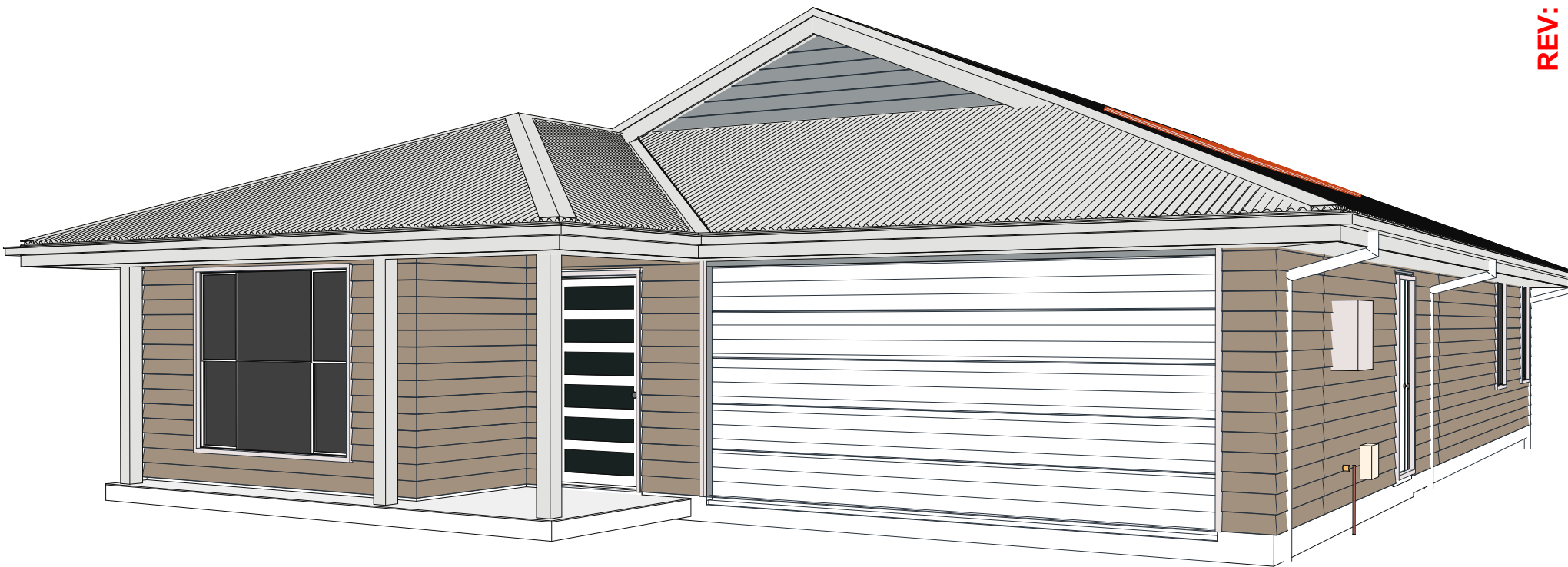
Finishes Legend

External Scheme - A##

Cladding:

Hebel:

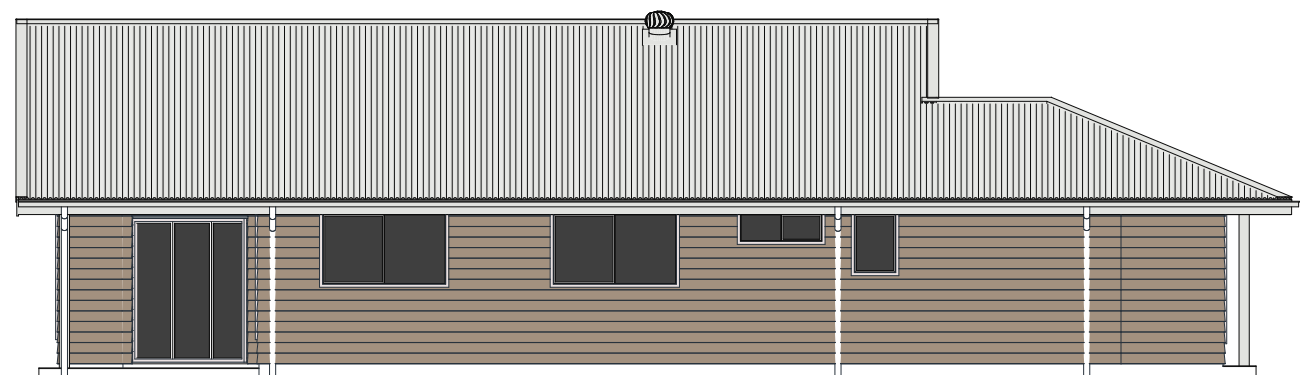
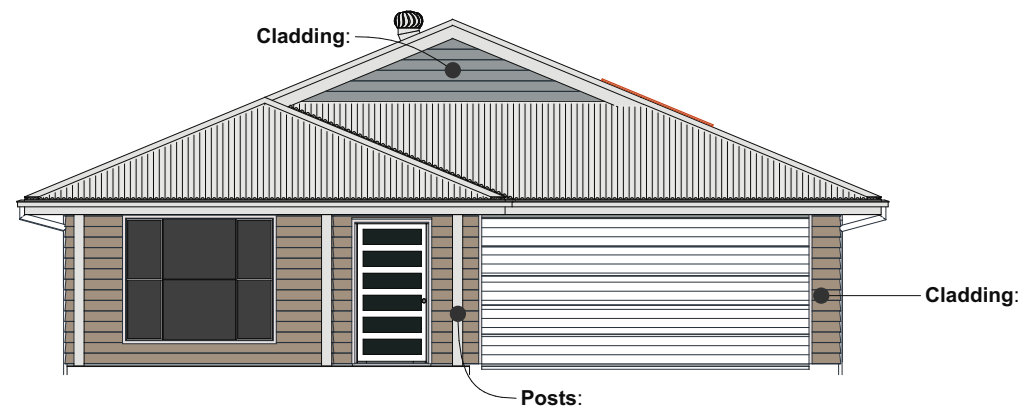
Posts :



REV: A. ##. ##. ####

MASTER

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Finishes Legend

External Scheme - A##

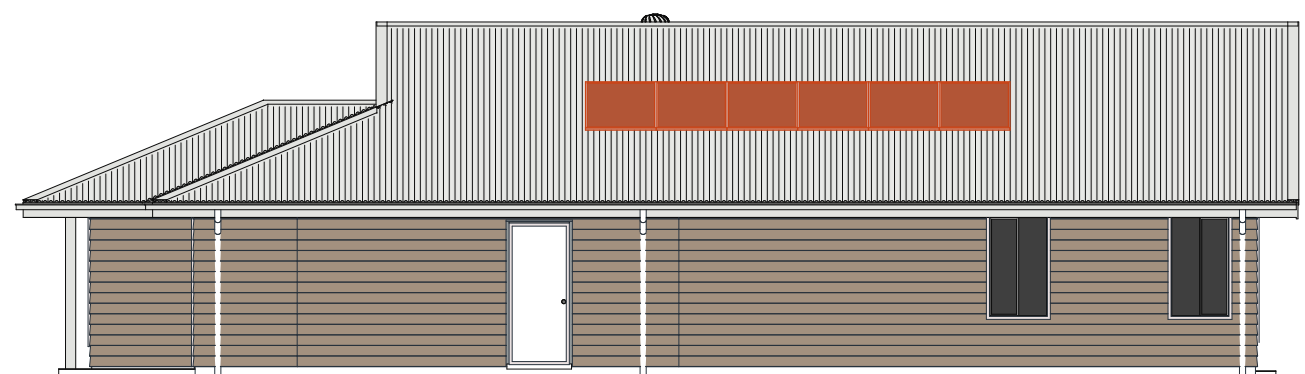
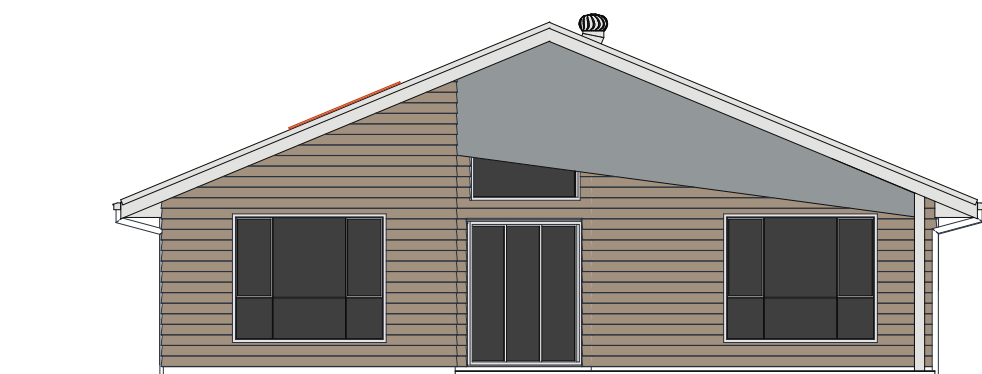
Cladding:

Hebel:

Posts :

REV: A. ##. ##. ###

MASTER



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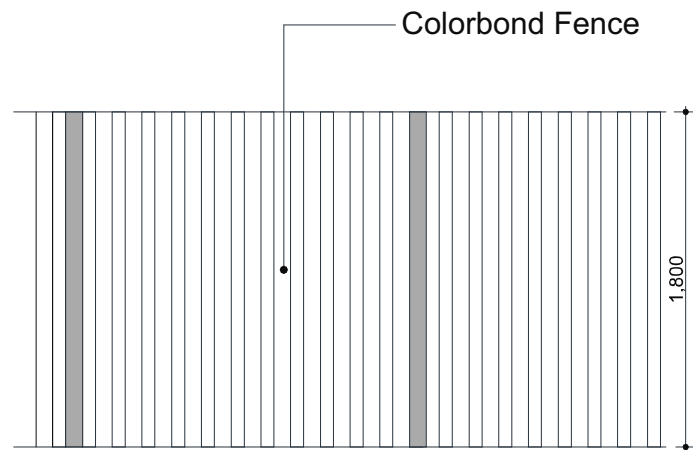
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						GENERAL:		F	01.09.20	Revision/Date/Version		Serial		CAE		REFER TO DETAIL	
						HOUSE:		0	01.07.20	A. ##.##.####.V22		1MY7101000		Job No		Sheet	
														Job no.		01.24	
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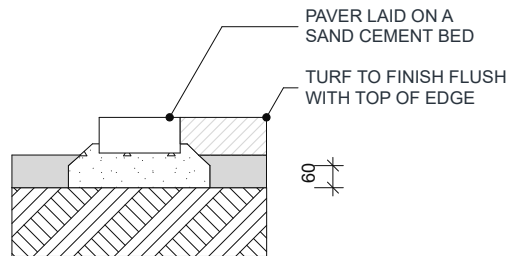
MASTER





NOTE: Gates to be made from same materials as fence. All fixings to be galvanised, trip latches fitted

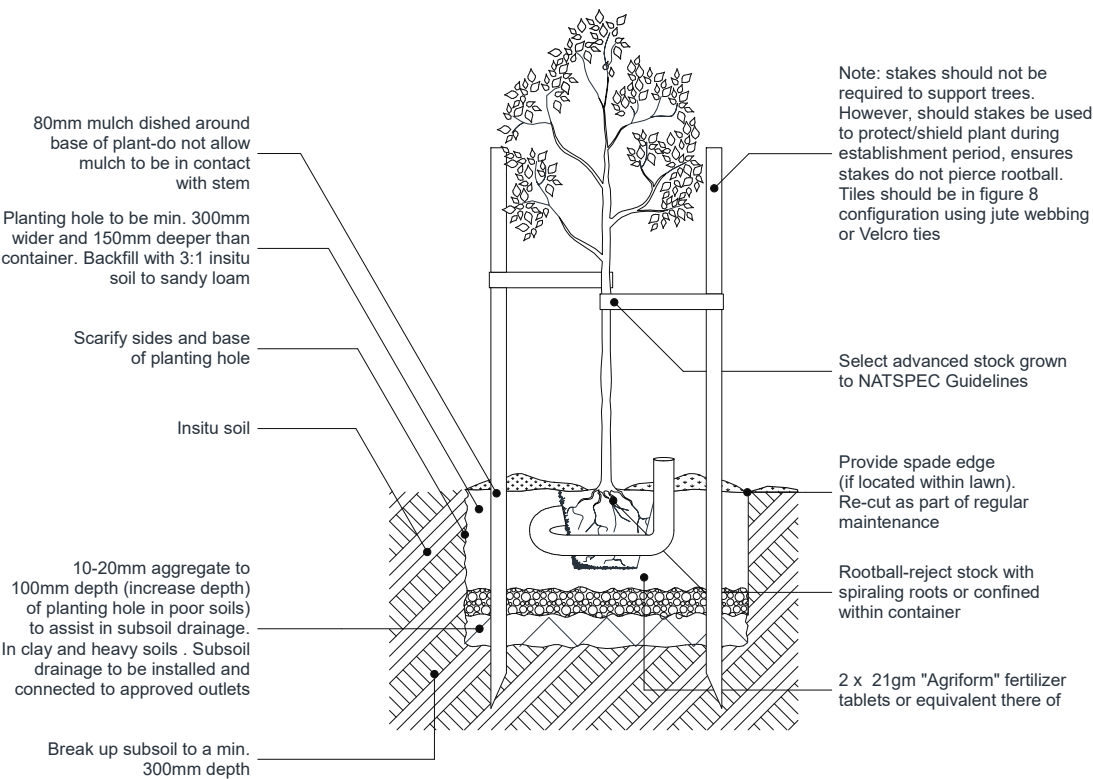
FENCE - TYPE B



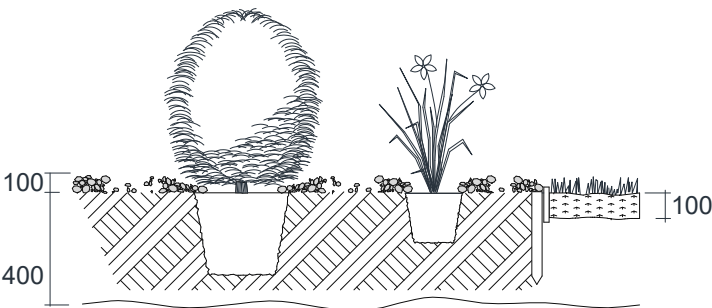
GARDEN EDGE DETAIL
NTS

LANDSCAPE SPECIFICATIONS

- TURF AREA:
- Turf Underlay: 100mm thick layer of screened top soil
 - Turf: Kikuyu Turf
- GARDEN AREA:
- Soil: 300mm thick layer of premium garden mix.
 - Mulch: 75mm thick layer of 10mm pine bark mulch.
 - Plants per site average:
 - 2 x 25L pot size trees
 - 20 x 300mm pot size plants
 - 20 x 200mm pot size plants
 - 15 x 140mm pot size plants.
- Trees to be staked as required; all stakes shall be durable hardwood sharpened to a point at one end and free from knots and twists;
- 15 Litre to 35 Litre: 25 x 25 x 1500mm, 2 stakes per plant.
 - 45 Litre to 100 Litre: 38 x 38 x 1800mm, 2 stakes per plant.
- Tiles shall be 50mm wide hessian webbing.
- BRICK EDGE:
- 50mm thick charcoal Havenbrick on sand and cement mix.
- PEBBLE AREA:
- Pebble underlay : 100mm - 200mm thick layer of consolidated road base.
 - Pebble : 75mm thick layer of 20mm decorative pebbles.

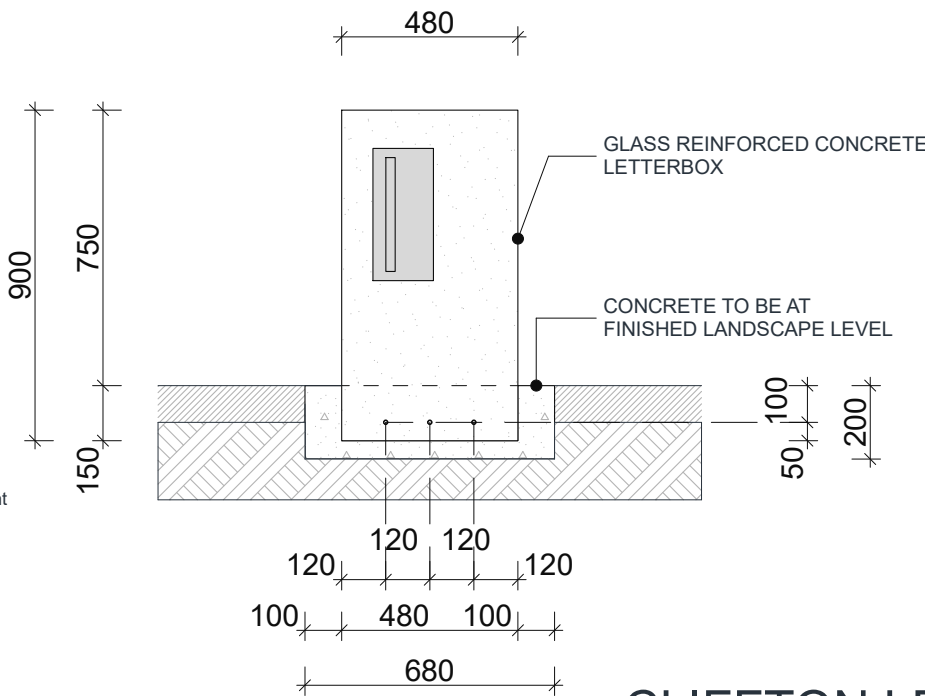


TREE PLANTING FOR ADVANCED STOCK



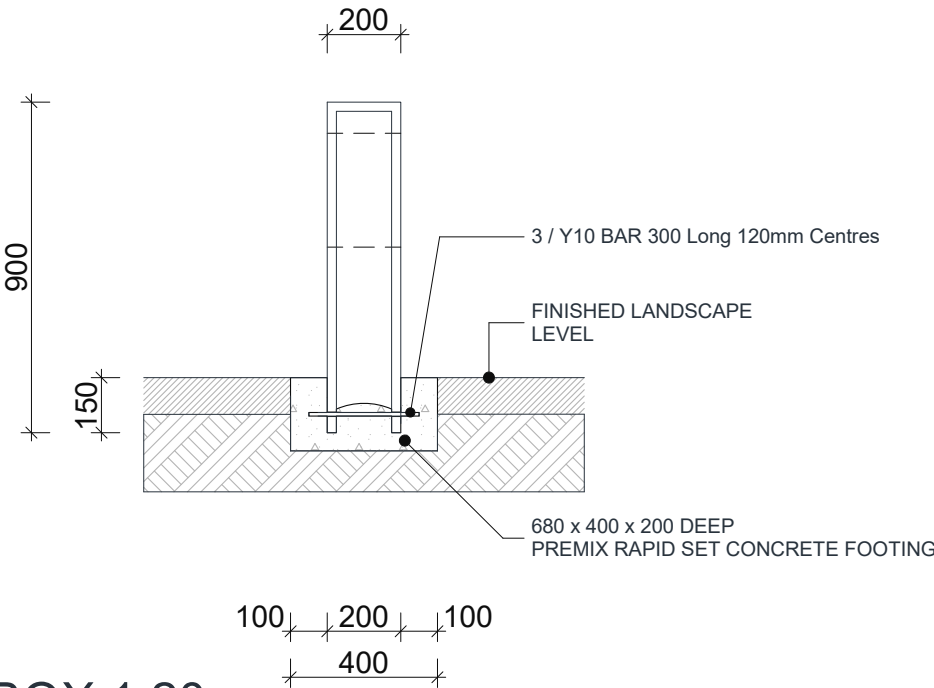
1. Excavate beds to 400mm.
2. Backfill bed with excavated soil mixed with an improved soil mixed with an improved garden loam.

PLANTED BEDS

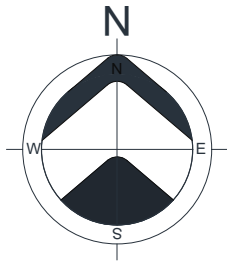


ELEVATION

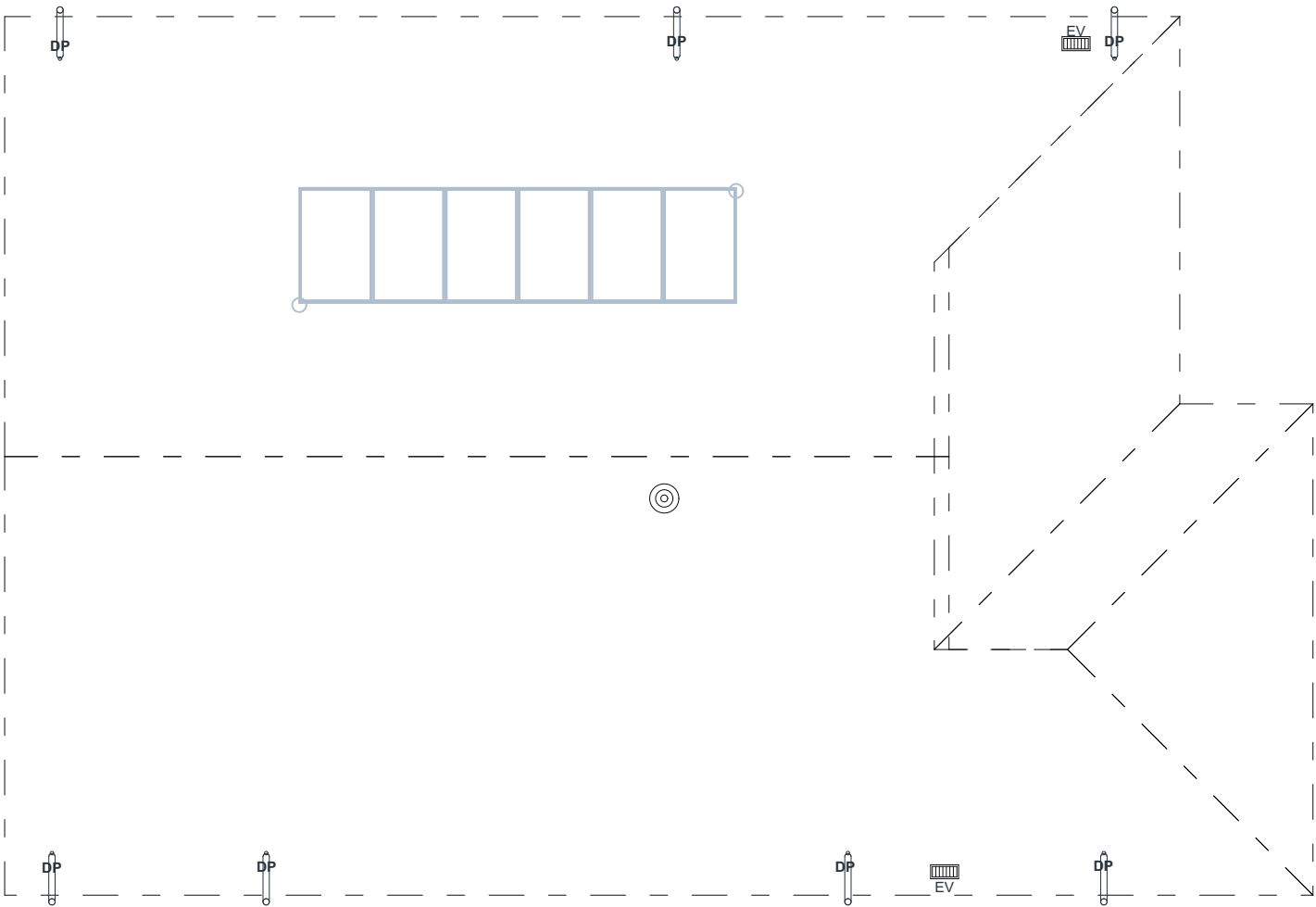
CLIFFTON LETTERBOX 1:20



SECTION



PV LAYOUT	
SYSTEM SIZE	2.49kW
PANELS	(6) 415 W Panel (1762 x 1134 x 30)



REV: A. ##.##.####

MASTER

MASTER

 <p>ALLAM Lifestyle COMMUNITIES</p>	 <p>MONTEREY CAMDEN HAVEN</p>	<p>Allam Lifestyle Communities Level 3, Offices 36-42 11-13 Brookhollow Ave ACN 003 798 883 BLN 28701.C Ph 02 47322422 Fx 02 47211811 www.allam.com.au</p>	<p>ALL RIGHT RESERVED. This plan is the property of Allam Homes Pty Ltd. Copyright in this document is owned by Allam Homes Pty Ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Allam Homes Pty Ltd.</p>	<p>MYRTLE PLUS-7 DG <i>Classic</i></p>	<p>Site Address Allam Homes Pty Ltd Lot ### Street name Suburb (Estate) NSW</p>	<table border="1"> <tr> <th>SITE INSTRUCTIONS</th> <th colspan="3">WHS Plan</th> <th>Last Amended</th> <th>Scale</th> </tr> <tr> <td>GENERAL:</td> <td>F</td> <td>01.09.20</td> <td>Revision/Date/Version</td> <td>CAE</td> <td>Sheet</td> </tr> <tr> <td>HOUSE:</td> <td>0</td> <td>01.07.20</td> <td>A. ##.##.####.V22</td> <td>1MY7101000</td> <td>Job no. 01.30</td> </tr> </table>	SITE INSTRUCTIONS	WHS Plan			Last Amended	Scale	GENERAL:	F	01.09.20	Revision/Date/Version	CAE	Sheet	HOUSE:	0	01.07.20	A. ##.##.####.V22	1MY7101000	Job no. 01.30
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