

# Lifestyle COMMUNITIES

Rev	Date	Modified By	REVISION TO DRAWINGS
			Pre Approval:
Α	##.##.####	INITIAL	List variation here and in project info.
	27.07.2023	CAE	SQ set opening to MPR in lieu of CSD.
			House Reconfiguration requested
			2). Additional Garage GPO @1300mm above FFL
			Reduction in downlights
			4). Induction cooktop
			5). Back to wall cistern
			Remove step in wall to Bathroon WC wall
			7). Adjusted door location to Bed 1
			8). Alfresco fan height lowered
			9). Additional Double GPO to Bed 2
			10). Semi frameless shower screen (remove trip hazard)
			11). Reduced width Sq sets to hallway
			12). 1500 Sq Set to MPR

	СС	W/O
WAE	N/A	N/A
SEWER Draft Civil Plans	N/A	N/A
WATER	N/A	N/A
ELECTRICAL	N/A	N/A
NBN	N/A	N/A
CIVIL ENGINEERS	N/A	N/A
GAS	N/A	N/A
LINEN	N/A	N/A
88B	N/A	N/A
BAL	N/A	N/A
ACCOUSTICS	N/A	N/A
NOTE: N/A DENOTES UNAVAILABLE AT TII	DOCUMENTATION ME OF PRODUCTION	

Layout No:	Layout Name	Rev
01.1	Cover Sheet	
01.2	Site	
01.3	Ground Floor	
01.4	Elevation A/B	
01.5	Elevation C/D	
01.6	Section X/Y	
01.7	Site Analysis	
01.8	Fencing & Retaining Layout	
01.9	Retaining Wall Details	
01.10	Waste & Drainage	
01.11	Slab Setout Ground	
01.12	Slab Details	
01.13	Sub Floor Ground	
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01.15	Ground Floor Electrical	
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01.17	Associated Details 1	
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01.30	WHS Plan	

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	<b>N</b> (	Allam Lifestyle Communities	ALL RIGHT RESERVED.		Site Address	SITE	2	14		Last Amended	Scale
ALLAM		Level 3, Offices 36-42	This plan is the property of Allam Homes pty	MYRTLE PLUS-7 DG	Allam Homes Pty Ltd	INSTRUCTIONS	Jover S	neet		CAE	NTS
ALLANIVI	111	ACN 003 798 883 BLN 28701 C	Itd. Copyright in this document is owned by Allam Homes pty ltd. Under the provisions of		Lot ### Street name	GENERAL: F	01.09.20	Revision/Date/Version	Serial	Job No	Sheet
Lifestyle COMMUNITIES	MONTEREY	Ph 02 47322422 Fx 02 47211811	the Copyright ACT 1968 and is intended for	Classic	2 1 1 (5 ( ) ) 1014	OLIVEI VIL.	01.00.20	A 1111 1111 1111 11 1100	411/7404000		01.1
Enjestyle Commontines	CAMDEN HAVEN	www.allam.com.au	use only as authorised by Allam Homes pty ltd.	3,435,6	Suburb (Estate) NSW	HOUSE:	01.07.20	A. ##.##.###.V22	11017 / 101000	Job no.	01.1

Garage Floor FFL 0.040 FFL 0.000 FGL 0.240 FGL 0.200 **MYRTLE PLUS-7** -70 SD DG Alfresco FFL 0.070 FGL 0.230 Classic 40 SD -40 SD

DRAWING REVISIONS

A. ##.##.## INI - List variations.

#### NOTE: Also Refer To Index Sheet For Additional Plans.

- Waste & Drainage. Fencing & Retaining.
- Slab Setout.Site Analysis.Landscape.

- GENERAL NOTES:

   Landscaping To The Front & Rear Yards As Indicated On The Landscape Plan.

   Retaining Wall Where Required By Builder.
- Provide An Edgeboard Survey To Confirm The Position Of The Home & Finished Floor Levels.
   Provide 1800mm High Chain Wire Temporary Safety Fencing In Accordance With Work Cover Requirements Under The Occupational Health & Safety Act To All Unfenced Boundaries Including

IG: ALL DRAWINGS TO BE READ IN CONJUNCTION WITH DETAILS. ALL DISCREPANCIES TO BE REPORTED TO DESIGN OFFICE PRIOR TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960 SITE INSTRUCTIONS **Site MYRTLE PLUS-7 DG** 1:200 CAE Allam Homes Pty Ltd GENERAL: F 01.09.20 Lot ### Street name Classic Ph 02 47322422 Fx 02 47211811 HOUSE: 0 01.07.20 A. ##.##.###.V22 1MY7101000 **Job no.** Suburb (Estate) NSW

**General Notes:** 

Weather strips/seals to all exter

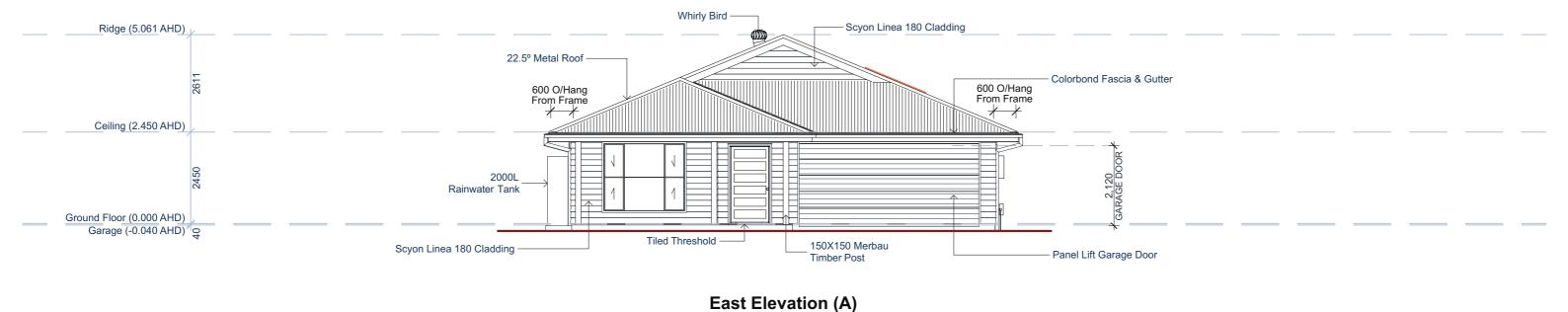
REV: A. ##.##.####

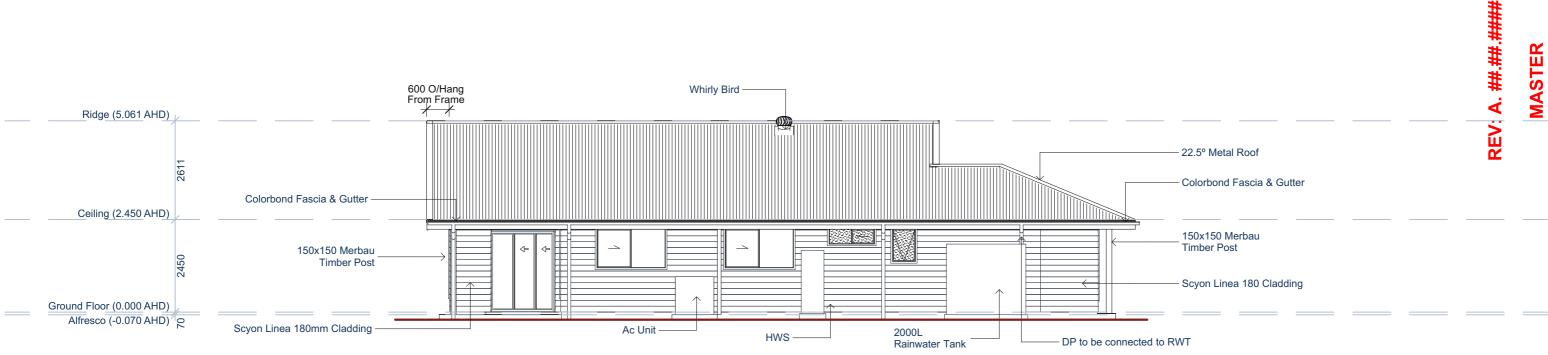
NOTE:

FLOOR AREAS ALFRESCO GARAGE 32.49 131.46 5.95 190.71 m²

OFFICE PRIOR TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960 INSTRUCTIONS Ground Floor **MYRTLE PLUS-7 DG** CAE Allam Homes Pty Ltd Lot ### Street name Classic 0 01.07.20 A. ##.##.###.V22 1MY7101000 **Job no.** Suburb (Estate) NSW

MASTER





### South Elevation (B)

### **General Notes:**

\* Locate expansion joints in accordance with Clause 3.3.5.13 of NCC and located behind

- downpipes where possible.

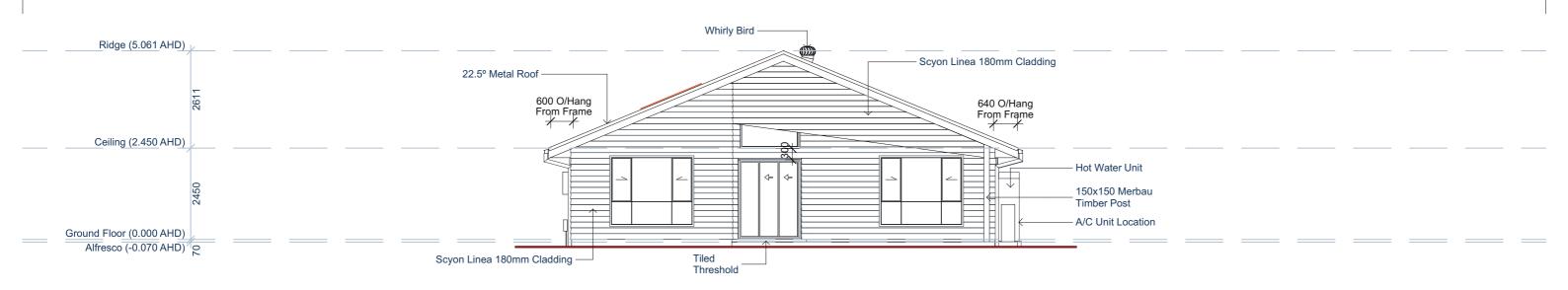
  \* All verges 200mm unless otherwise noted
- \* Provide cover strip to entry doors
  \* Provide cover strip to entry doors
  \* Provide cover strip to entry doors
  \* Refer to floor plans/window schedule for Restricted opening windows (BCA)

Indicates Obscure Glazing (Refer floor plans/window schedule)

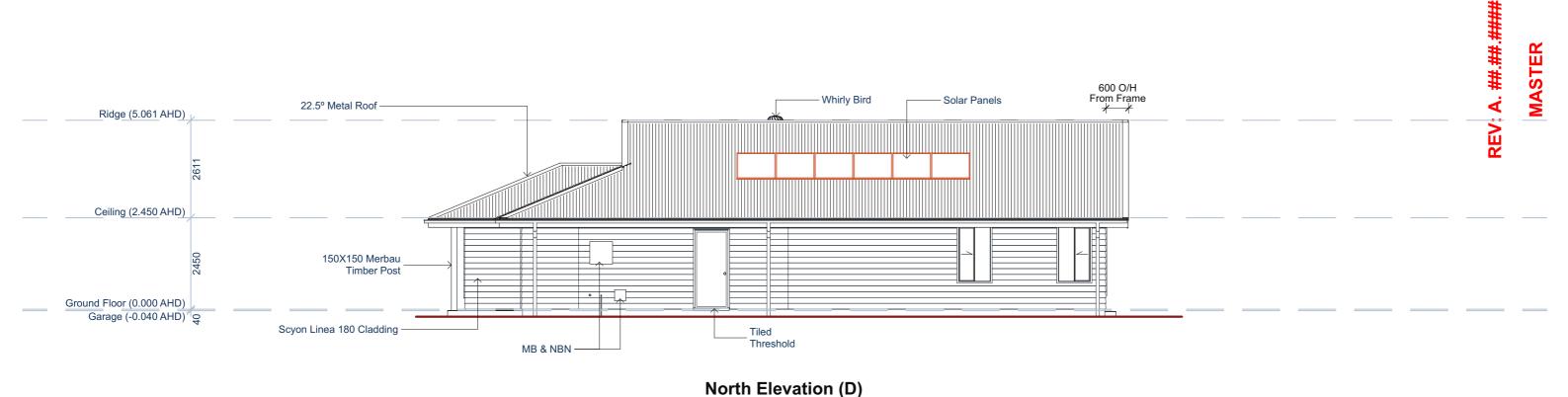
### Glazing

Glazing materials must be selected and installed in accordance with the relevant provisions of AS 1288—2006, Glass in buildings—Selection and installationand, to the extent to which those provisions require the use of safety glass, in accordance with the relevant provisions of AS/NZS 2208:1996, Safety glazing materials in buildings (each as in force on 1 September 2005).

#### WARNING: ALL DRAWINGS TO BE READ IN CONJUNCTION WITH DETAILS. ALL DISCREPANCIES TO BE REPORTED TO DESIGN OFFICE PRIOR TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960 SITE INSTRUCTIONS Elevation A/B **MYRTLE PLUS-7 DG** 1:100 Allam Homes Pty Ltd ACN 003 798 883 BLN 28701.C Ph 02 47322422 Fx 02 47211811 Lot ### Street name Classic **Lifestyle COMMUNITIES** HOUSE: 0 01.07.20 A. ##.####.V22 1MY7101000 **Job no.** Suburb (Estate) NSW © 2021 Allam Homes Ptv Ltd. DO NOT SCALE OFF ARCHITECTURAL DRAWINGS



### West Elevation (C)



### **General Notes:**

\* Locate expansion joints in accordance with Clause 3.3.5.13 of NCC and located behind

- downpipes where possible.

  \* All verges 200mm unless otherwise noted
- \* Provide cover strip to entry doors
  \* Provide cover strip to entry doors
  \* Provide cover strip to entry doors
  \* Refer to floor plans/window schedule for Restricted opening windows (BCA)

Indicates Obscure Glazing (Refer floor plans/window schedule)

#### Glazing

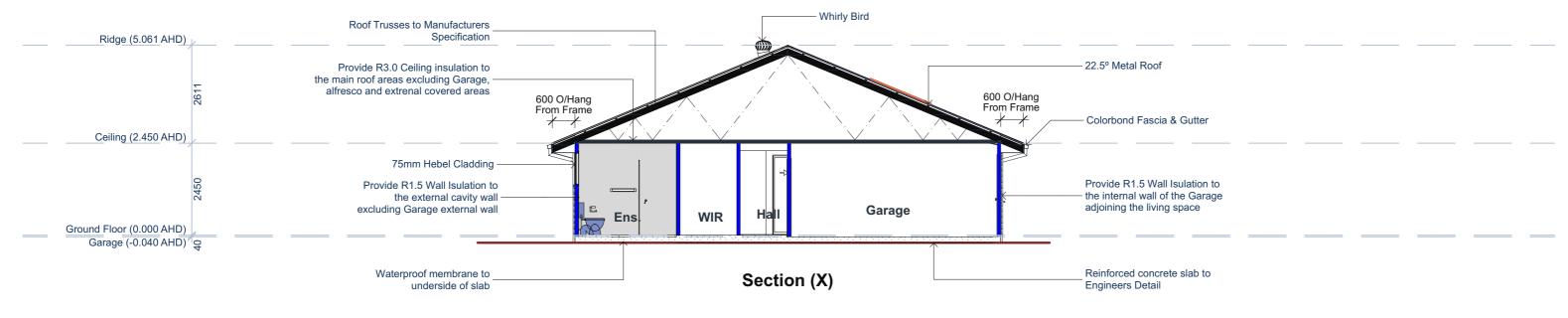
Glazing materials must be selected and installed in accordance with the relevant provisions of AS 1288—2006, Glass in buildings—Selection and installationand, to the extent to which those provisions require the use of safety glass, in accordance with the relevant provisions of AS/NZS 2208:1996, Safety glazing materials in buildings (each as in force on 1 September 2005).

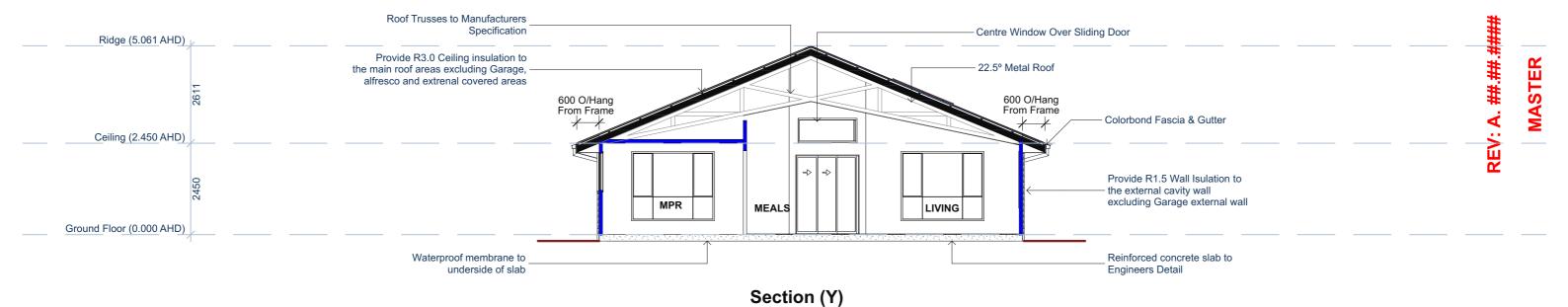
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### Note:

Windows Generic values- U 6.70 / SHGC 0.57 to 0.70





### **CONDENSATION MANAGEMENT:**

- Exhaust Fans will be Compliant with NCC Clause 3.8.7.3.b (i). Australian Standard AS4200.1

-Wall wrap to be in accordance with Clause 3.8.7.2 of NCC

2019 & AS4200.1 & Installed in Compliance with AS4200.2

ROOF RAINWATER:

- Provide overflow measures for gutters and downpipes: Compliant with NCC Clause 3.5.3 STAIRS, RAMP & LANDINGS:

Internal & External: Bounded by walls:
Compliant with NCC Clause 3.9.1
Internal & External: Finish of nosings/slip resistance:
Compliant with NCC Clause 3.9.1.4

BALLUSTRADES:

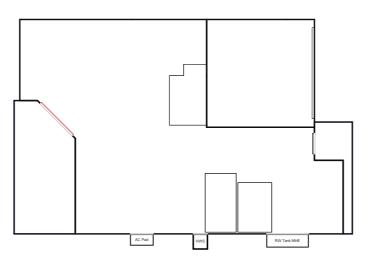
- Internal/External: All installations: Compliant with NCC 3.9.2; Clause 3.9.2.3 & 3.9.2.4 as applicable for handrails

ELECTRICAL:

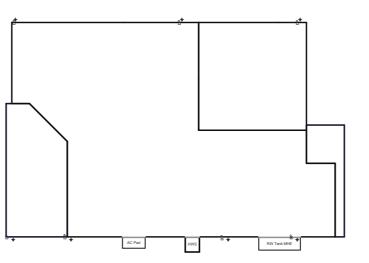
Smoke Alarms: Installation to NCC Clause 3.7.5

LIGHTING & VENTILATION TABLE										
Zone Name	Floor Area Total	Natural Lighting Area Requied (Min. 10%)	Proposed Natural Lighting Area	Natural Ventilation Area Requied (Min. 5%)	Proposed Natural Ventilation Area					
Bed 1	13.356	1.335	3.884	0.667	1.782					
Bed 2	9.641	0.964	1.818	0.482	0.821					
Meal/Kitchen Living	55.162	5.516	11.884	2.758	5.182					
MPR	13.195	1.319	5.543	0.659	2.035					

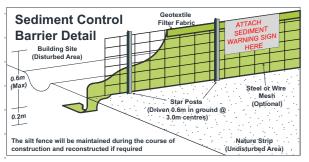
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Allam Lifestyle Communities	ALL DIGHT DESERVED		Site Address	SITE		4.5	1606		Last Amended	Scale
Level 3, Offices 36-42 11-13 Brookhollow Ave	This plan is the property of Allam Homes pty	MYRTLE PLUS-7 DG	Allam Homes Pty Ltd	INSTRUCTIONS	Se	ction	X/Y		CAE	1:100
ACN 003 798 883 BLN 28701.0	Allam Homes by Itd. Under the provisions of	Classia	Lot ### Street name	GENERAL:	F (	01.09.20	Revision/Date/Version	Serial	Job No	Sheet
Lifestyle COMMUNITIES WORTER ET Ph 02 47322422 Fx 02 4721181	use only as authorised by Allam Homes pty ltd.	Classic	Suburb (Estate) NSW	HOUSE:	0 (	01.07.20	A. ##.##.###.V22	1MY7101000	Job no.	01.6



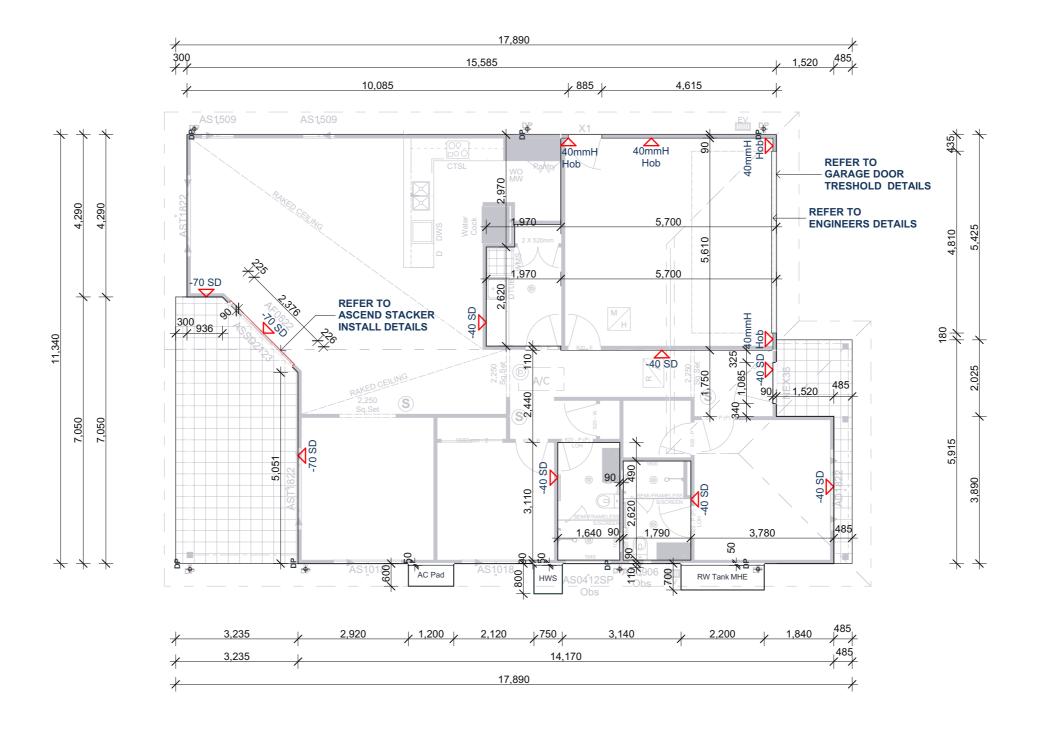








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Lifestyle COMMUNITIES CAMBEN HAVEN	Ph 02 47322422 Fx 02 47211811 www.allam.com.au	use only as authorised by Allam Homes pty ltd.	Classic	Suburb (Estate) NSW	HOUSE:	0 01.07.20	A. ##.##.W22	1MY7101000	Job no.	01.10

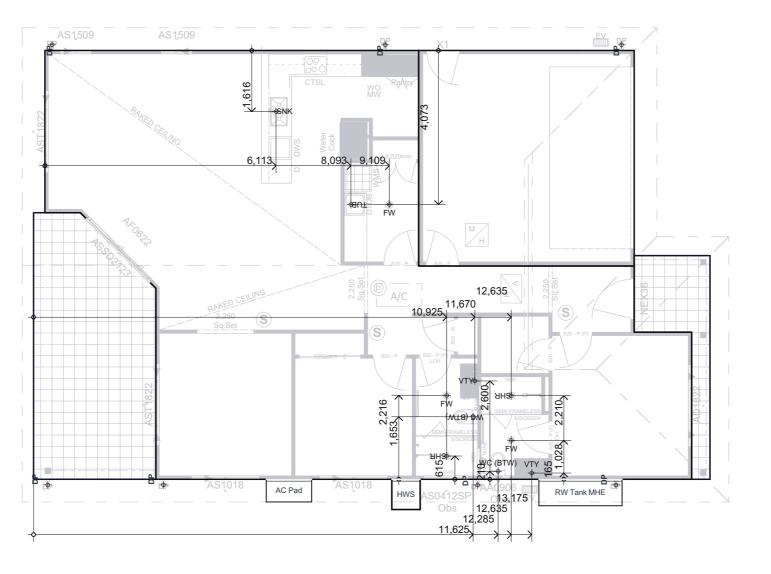


#### Termite shields

Shields, suriers or the like must be provided in accordance with AS 3660.1–2000Termite management—new building work and structures, as in force on 1 September 2005, to protect any structural members that are susceptible to attack by termites.

NOTE: All Measurements Are Taken From External Edge Of Slab

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11-13 Brookhollow Ave ACN 003 798 883 BLN 28701.C Alam Homes pty lid. Unit the Congright ACT 1988	nent is owned by rithe provisions of dis intended for Classic	Lot ### Street name	GENERAL: F 01.09.20	Revision/Date/Version	Serial	Job No	Sheet	
Lifestyle COMMUNITIES  CARDEN MAYEN  WWW.allam.com.au  use only as authorised b	Allam Homes pty ltd.	Suburb (Estate) NSW	HOUSE: 0 01.07.20	A. ##.##.###.V22	1MY7101000	Job no.	01.11	



NOTE: GROUND FLOOR RUNNING DIMENSIONS FROM INSIDE OF EDGE BOARD TO & OF PENETRATION

NOTE: FIRST FLOOR
RUNNING DIMENSIONS FROM EXTERNAL
TIMBER FRAME/BRICKWORK TO Q OF
PENETRATION

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11-13 Brookhollow Ave
ACN 003 798 883 BLN 28701.C
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MYRTLE PLUS-7 DG
Allam Homes Pty Ltd
Lot ### Street name
Suburb (Estate) NSW

MYRTLE PLUS-7 DG
Last Amended
CAE
WEFER TO
REFER TO



Downlight LED

2W Denotes two way control

Internal Wall @ 1900

Light/Heat/Fan (Ducted To External)

External Wall @ 1900

Light Switch

■ LED Light

D Data Point @ 300 (above FL)

T.V. Point @ 300 (above FL)

Electric Hot Water System

**(S)** Smoke Alarm

Air-conditioner Fan Unit A/C

Meter Box

Internal COMS

Alarm Key Panel

Alarm Control Box

Single GPO

Double GPO

Single Ext GPO



Ceiling Fan



Ceiling Fan (Incorporated Light)

### **Actron Air Standard Unit Specification (Single Phase)**

Model: CRS13AS / EVA13AS Net (rated) Capacity (KW) Cooling: 13.02 KW

Heating: 15.0 KW

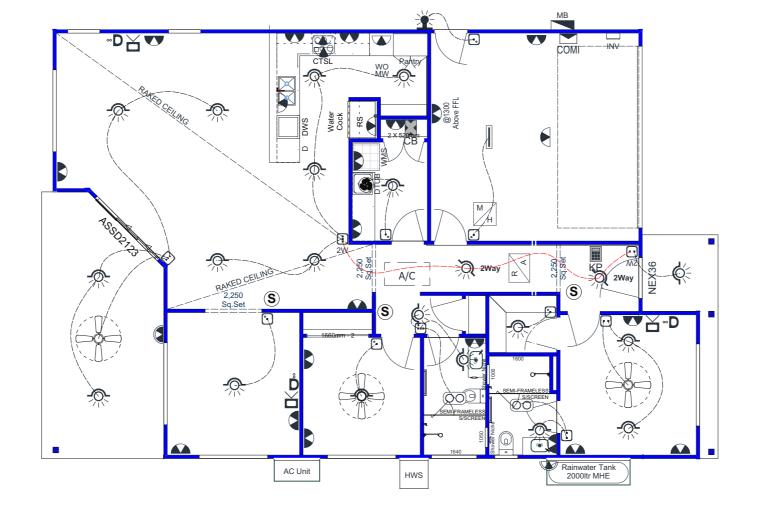
EER Rated Cooling: 3.35 KW EER Rated Heating: 3.51 KW

### General Notes: NCC Approval

- 1. All heights measured from the main floor level unless otherwise noted.
- 2. Light switches @ 1300mm above FFL wall mounted.
- 3. Top of Meter box to be 1900mm
- maximum above ground level. 4. Provide Smoke Alarms in accordance with NCCS Vol 2: Clause 3.7.5
- 5. Double GPO to meter box.

### **Electrical wiring**

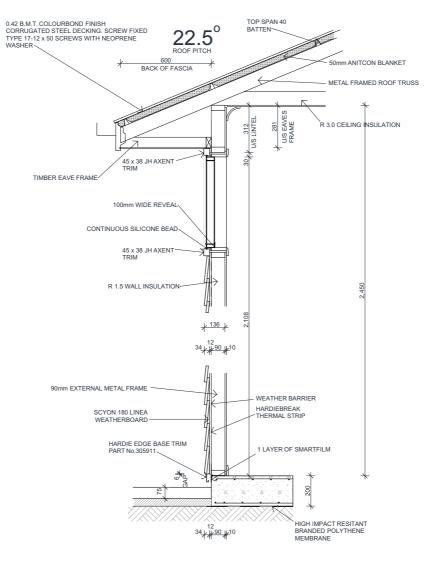
The electrical wiring in a manufactured home must comply with the requirements of AS/NZS 3000:2000.



GP	O Height Tabl	е
Room Location	Item	Height (mm)
Kitchen	GPO	1100
	REF	2050
	RH	1900
	DW	500
	MW	600/1200
Laundry	GPO	1300
Bath/Ens/Pow	GPO	1300
Garage	GPO	1200
	Roller Door	2000
	Panel Door	Ceiling
Other	External GPO	1000
Note:		

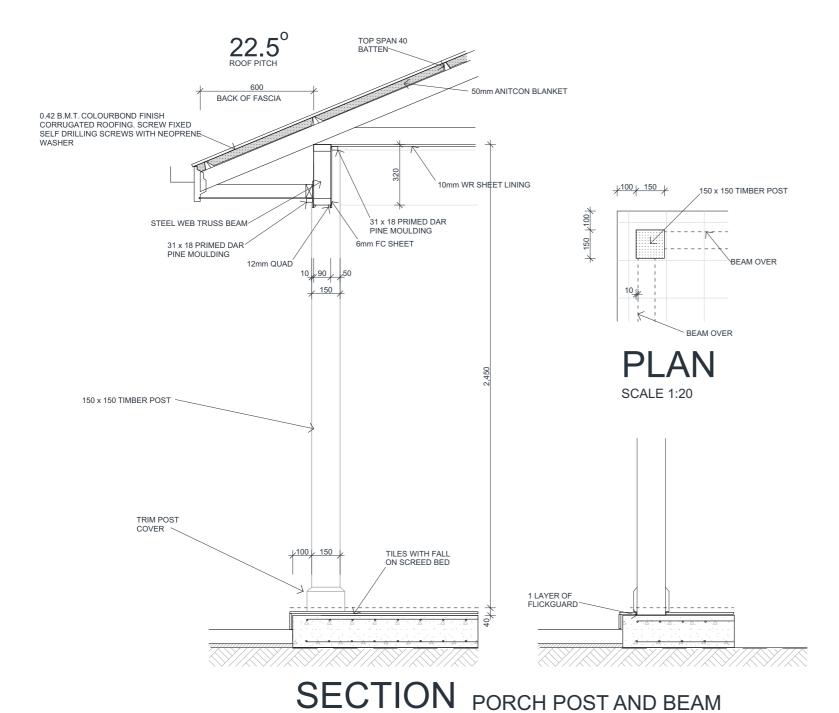
All general room GPO's are to measure 300mm above main floor level unless

#### NG: ALL DRAWINGS TO BE READ IN CONJUNCTION WITH DETAILS. ALL DISCREPANCIES TO BE REPORTED TO DESIGN OFFICE PRIOR TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960 INSTRUCTIONS Ground Floor Electrical **MYRTLE PLUS-7 DG** 1:100 Allam Homes Pty Ltd Lot ### Street name Classic M O N T E R E Y Ph 02 47322422 Fx 02 47211811 **Lifestyle COMMUNITIES** HOUSE: 0 01.07.20 A. ##.##.###.V22 1MY7101000 Job no. 01.15 Suburb (Estate) NSW © 2021 Allam Homes Pty Ltd. DO NOT SCALE OFF ARCHITECTURAL DRAWINGS



PERIMETER BEAM - HOUSE
TYPE B - FULL SCYLON LINEA 180 (16mm) WALL

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WITH FLAT CEILING

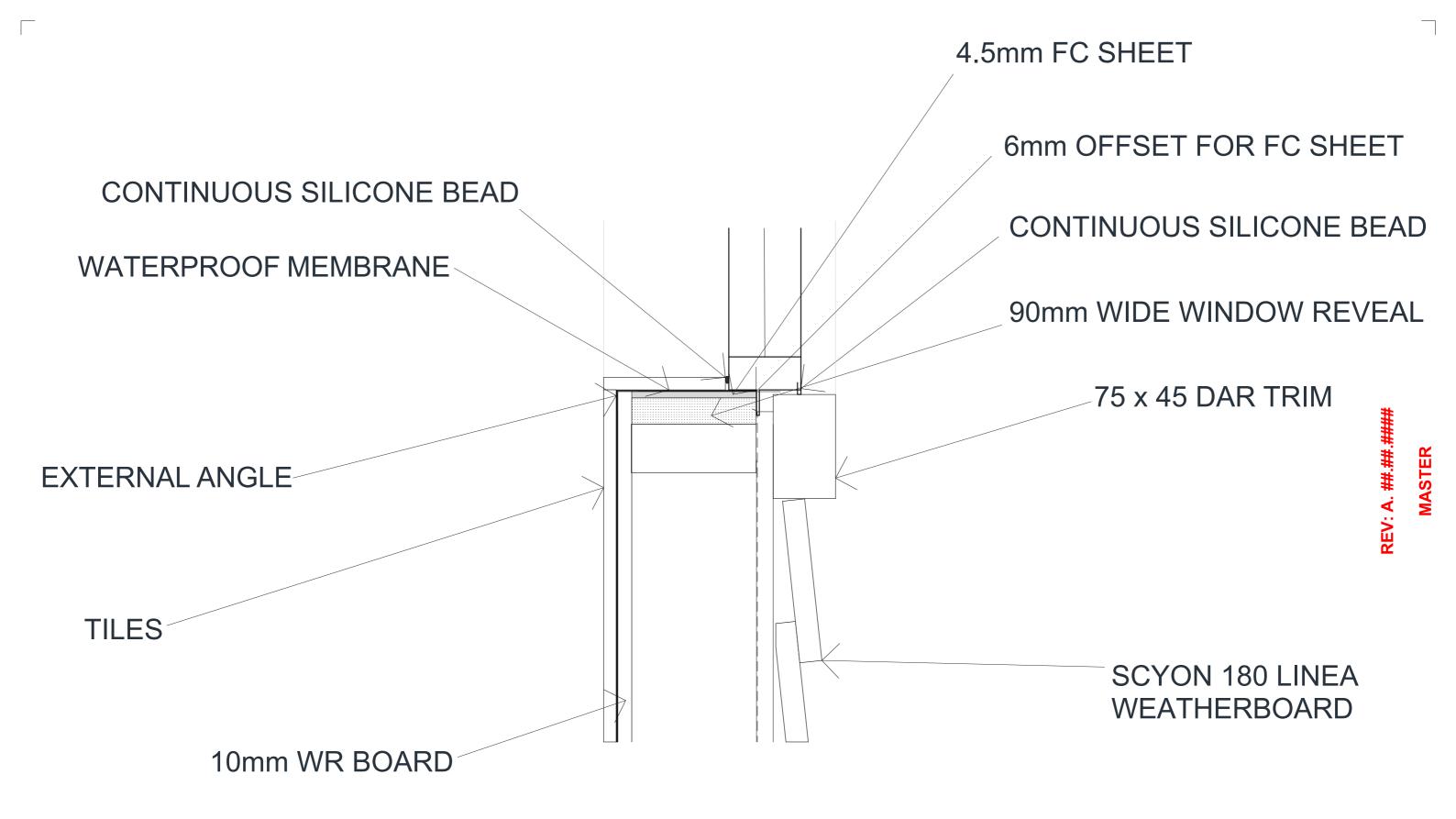
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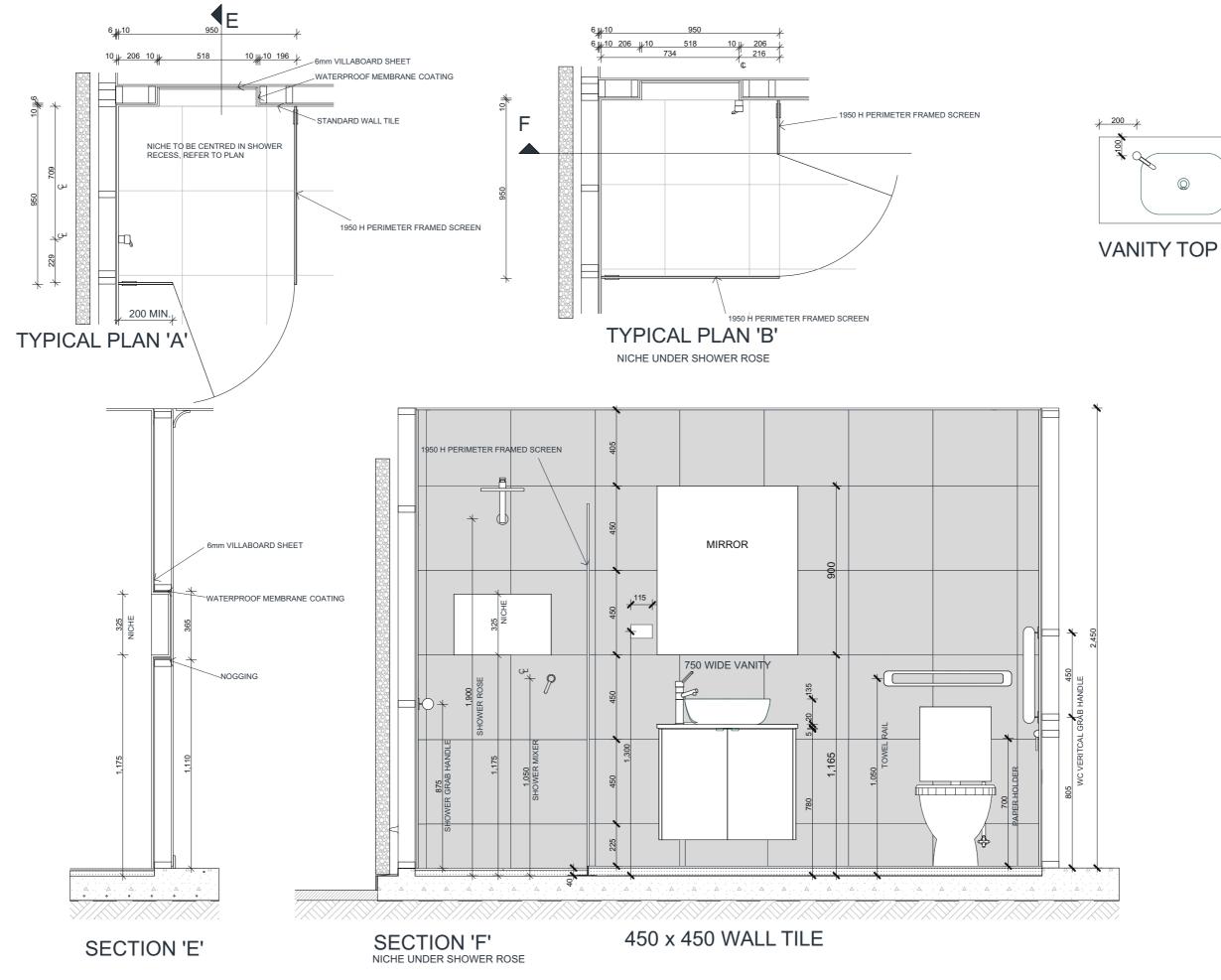
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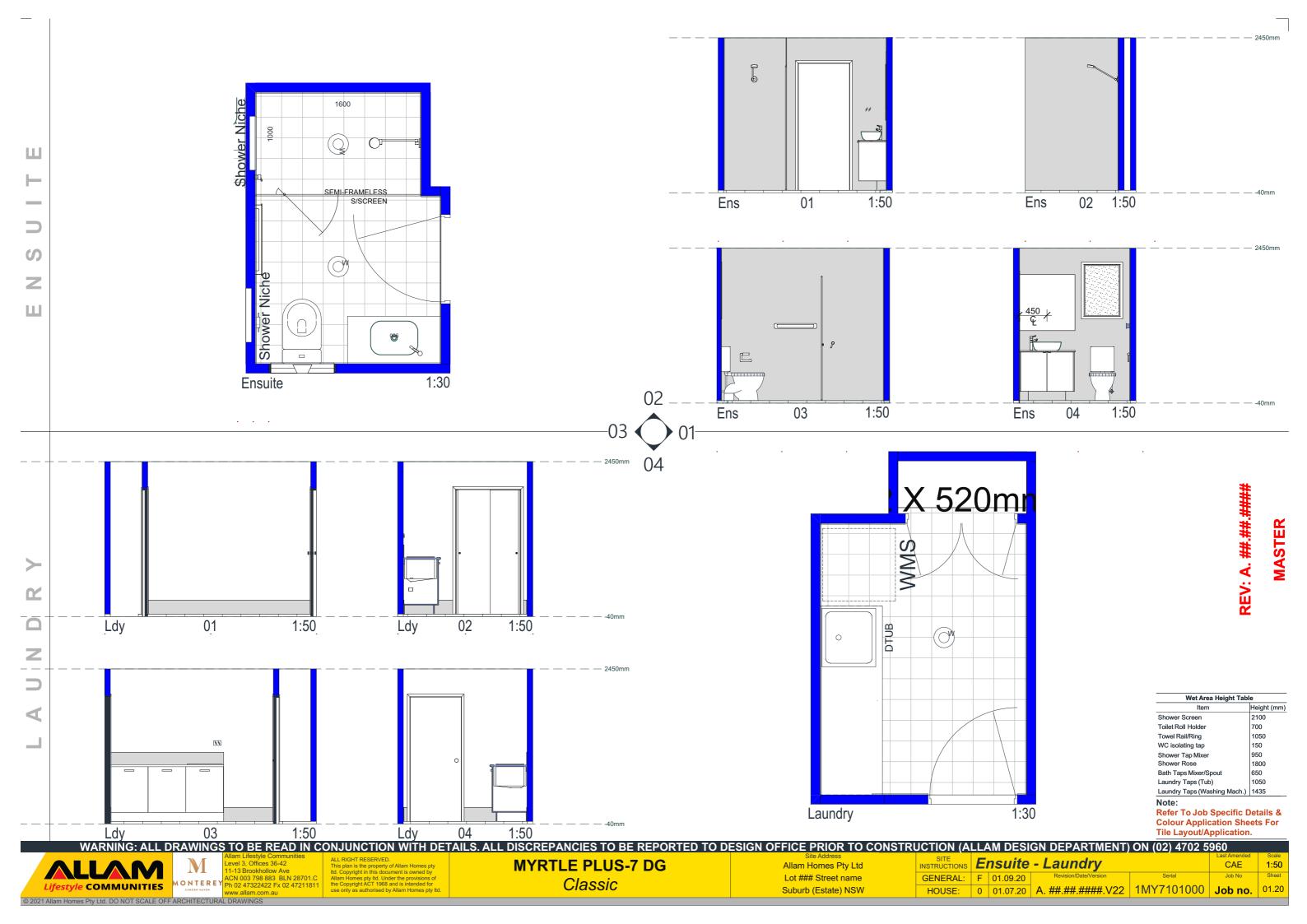


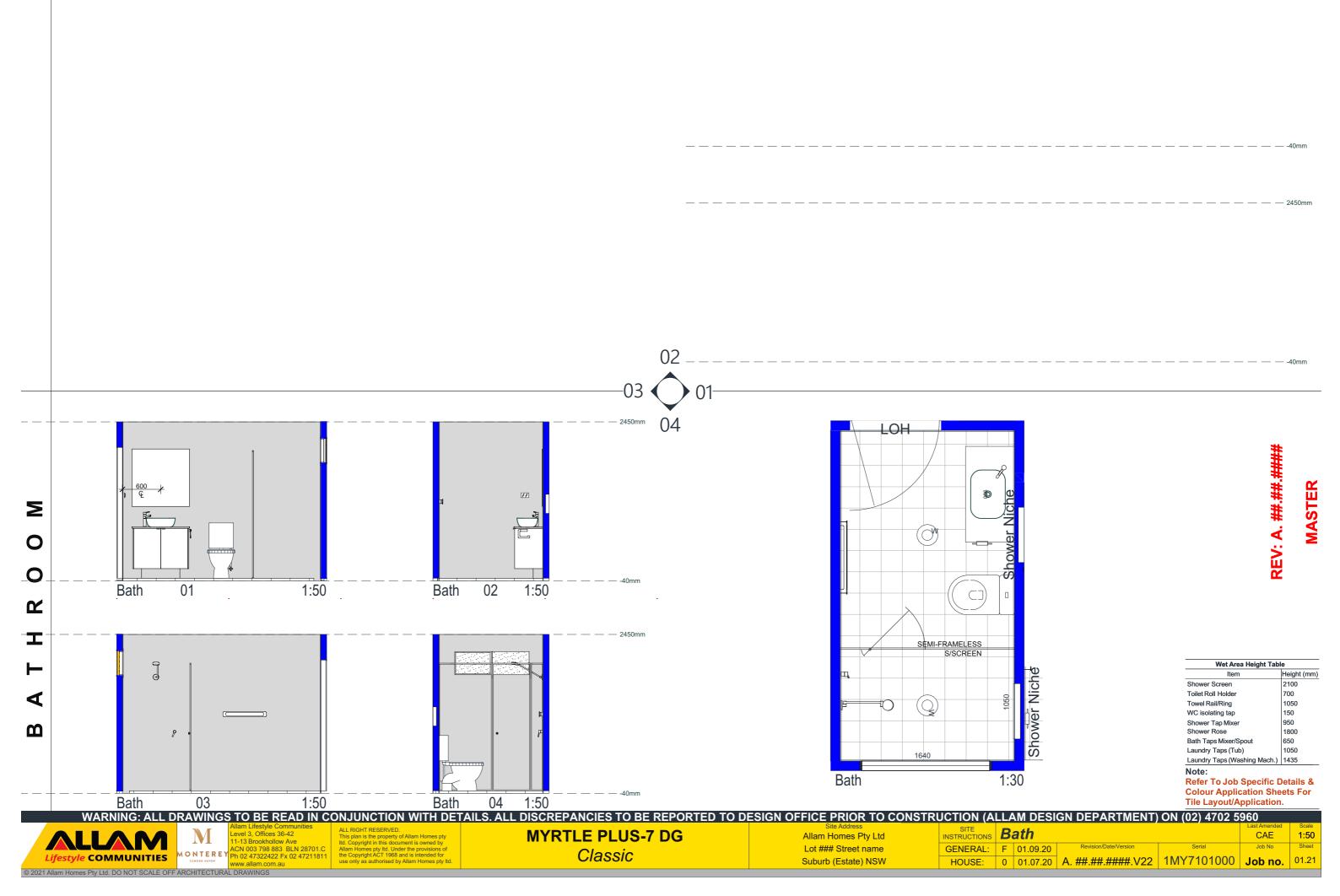
TYPE B - FULL SCYON LINEA 180 (16mm) WALL

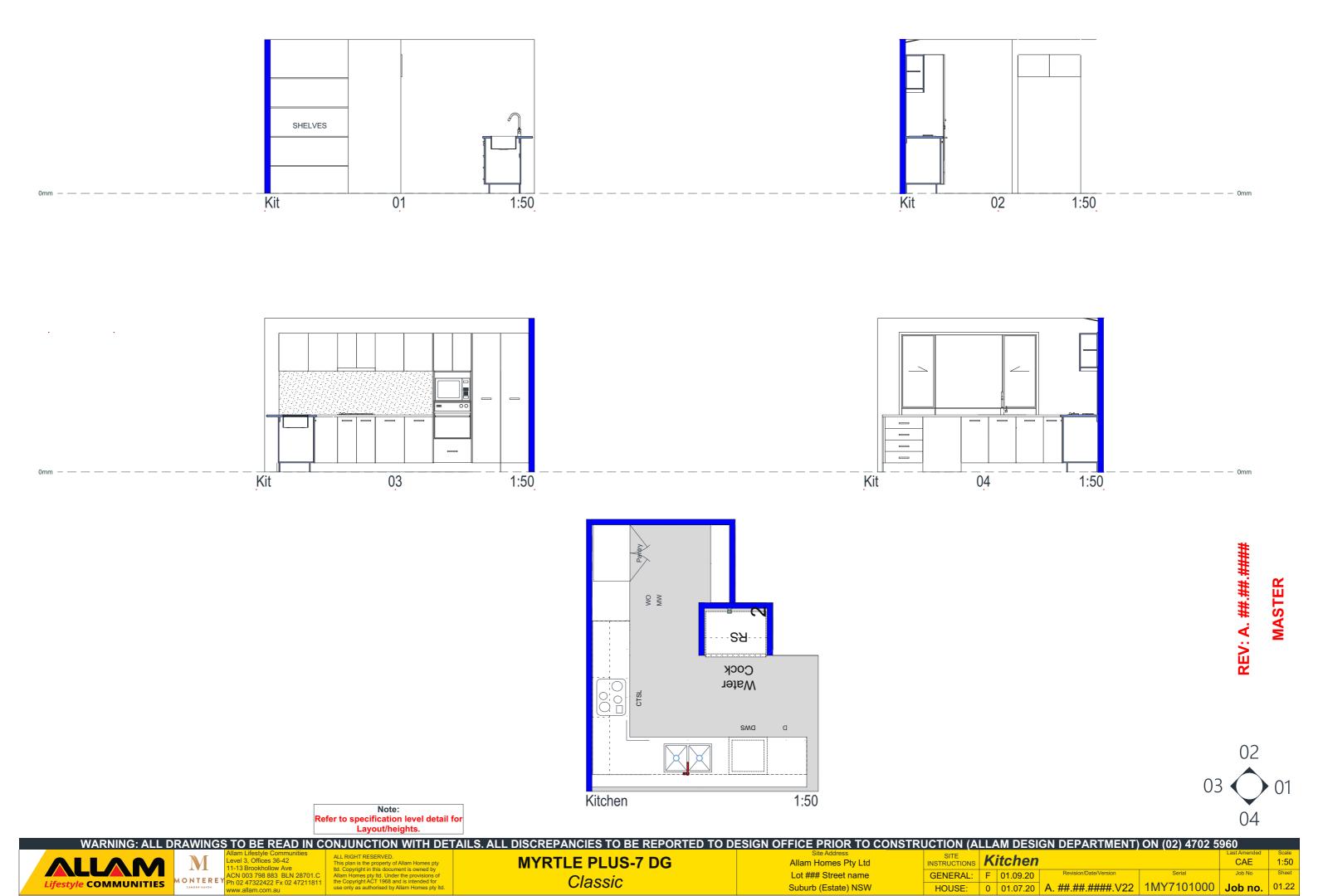
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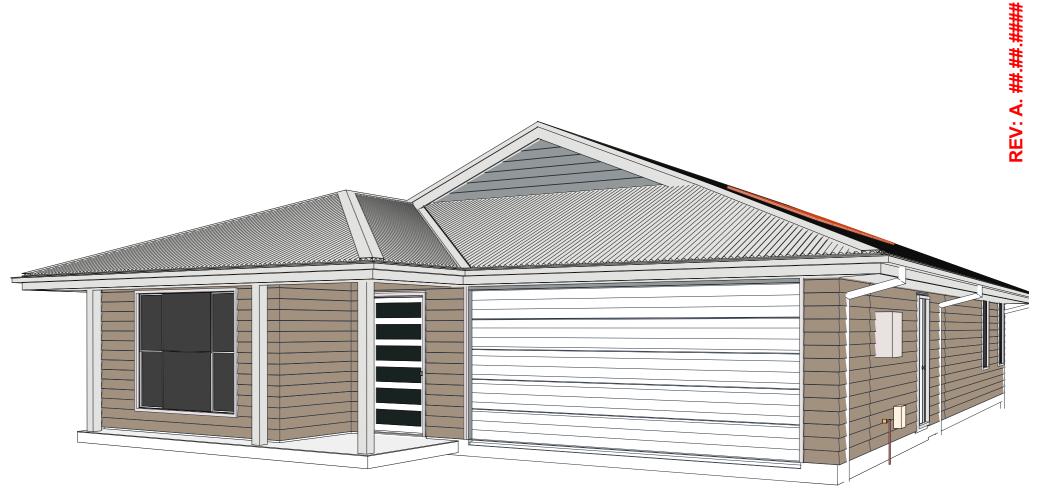
## **Finishes Legend**

External Scheme - A##

Cladding:

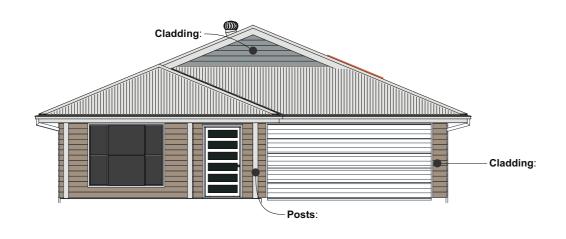
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Posts:



WARNING

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## Finishes Legend

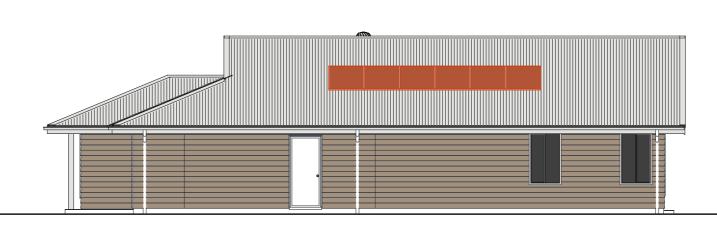
External Scheme - A##

Cladding:

Hebel:

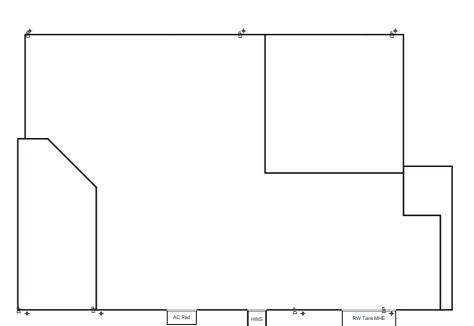
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Allam Lifestyle Communities Level 3, Offices 36-42 11-13 Brookhollow Ave ACN 003 708 883 RI N 28701 0	ALL RIGHT RESERVED. This plan is the property of Allam Homes pty	YRTLE PLUS-7 DG	Site Address Allam Homes Pty Ltd	SITE INSTRUCTIONS	Paint Ap	plication		Last Amended CAE	Scale REFER TO DETAIL
MONTER EXPLORATION OF A CONTRACTOR	Allam Homes pty Itd. Under the provisions of the Convirint ACT 1968 and is intended for	Classic	Lot ### Street name	GENERAL:	F 01.09.20	Revision/Date/Version	Serial	Job No	Sheet
Lifestyle COMMUNITIES  Www.allam.com.au  Lifestyle COMMUNITIES  Www.allam.com.au	use only as authorised by Allam Homes pty ltd.	Classic	Suburb (Estate) NSW	HOUSE:	0 01.07.20	A. ##.##.###.V22	1MY7101000	Job no.	01.24





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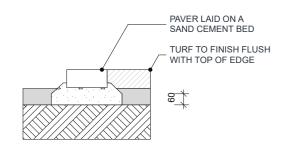
| Allam Lifestyle Communities Level 3, Offices 36-42 11-13 Brookhold wave ACN 003 798 883 BLN 28701.C Ph 02 47322422 Fx 02 47211811 Www.allam.com.au

| Allam Homes Pty Ltd Lot ### Street name Suburb (Estate) NSW | Serial Lot #### William Homes Pty Ltd DO NOT SCALE OFF ARCHITECTURAL DRAWINGS |
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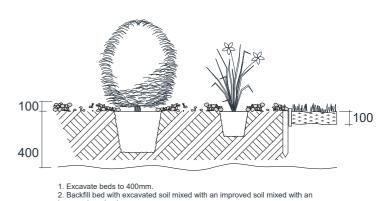
NOTE: Gates to be made from same materials as fence. All fixings to be galvanised, trip latches fitted

### FENCE - TYPE B



Note: stakes should not be required to support trees. However, should stakes be used 80mm mulch dished around to protect/shield plant during base of plant-do not allow establishment period, ensures mulch to be in contact stakes do not pierce rootball. with stem Tiles should be in figure 8 configuration using jute webbing Planting hole to be min. 300mm wider and 150mm deeper than or Velcro ties container. Backfill with 3:1 insitu soil to sandy loam Scarify sides and base of planting hole Select advanced stock grown to NATSPEC Guidelines Insitu soil Provide spade edge (if located within lawn). Re-cut as part of regular 10-20mm aggregate to 100mm depth (increase depth) spiraling roots or confined of planting hole in poor soils) within container to assist in subsoil drainage. In clay and heavy soils . Subsoil drainage to be installed and 2 x 21gm "Agriform" fertilizer connected to approved outlets Break up subsoil to a min.

TREE PLANTING FOR ADVANCED STOCK



improved garden loam.

### PLANTED BEDS

## **GARDEN EDGE DETAIL**

## LANDSCAPE SPECIFICATIONS

TURF AREA

- Turf Underlay: 100mm thick layer of screened top soil

Kikuyu Turf

GARDEN AREA:

300mm thick layer of premium garden mix

75mm thick layer of 10mm pine bark mulch.

- Plants per site average:

2 x 25L pot size trees 20 x 300mm pot size plants

20 x 200mm pot size plants

15 x 140mm pot size plants.

Trees to be staked as required; all stakes shall be durable hardwood sharpened to a point at one end and free from knots and twists

15 Litre to 35 Litre: 25 x 25 x 1500mm, 2 stakes per plant.

45 Litre to 100 Litre: 38 x 38 x 1800mm, 2 stakes per plant.

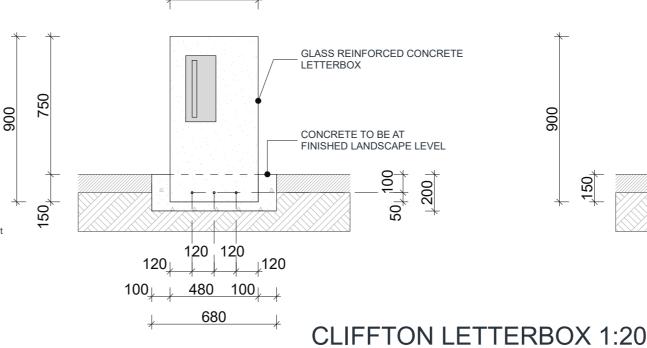
Tiles shall be 50mm wide hessian webbing.

### **BRICK EDGE**

- 50mm thick charcoal Havenbrick on sand and cement mix.

#### PEBBLE AREA:

100mm - 200mm thick layer of consolidated road base.



**ELEVATION** 

480

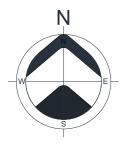
<sub>1</sub>200<sub>1</sub> 3 / Y10 BAR 300 Long 120mm Centres FINISHED LANDSCAPE LEVEL 680 x 400 x 200 DEEP PREMIX RAPID SET CONCRETE FOOTING 100 200 100

400

**SECTION** 

#### DISCREPANCIES TO BE REPORTED TO DESIGN OFFICE PRIOR TO CONSTRUCTION (ALLAM DESIGN DEPARTMENT) ON (02) 4702 5960 INSTRUCTIONS Landscape Details **MYRTLE PLUS-7 DG** Allam Homes Pty Ltd Classic Ph 02 47322422 Fx 02 47211811 HOUSE: 0 01.07.20 A. ##.##.##.V22 1MY7101000 **Job no.**

Suburb (Estate) NSW



PV LAYOUT					
SYSTEM SIZE	2.49kW				
PANELS	(6) 415 W Panel (1762 x 1134 x 30)				

